



TOWN OF WATERTOWN CONNECTICUT

51 Depot Square Business Center

Suite 502 • Watertown, Connecticut 06795-2200

Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency

Telephone: (860) 945-5266

Fax: (860) 945-2704

2013-02

SITE PLAN APPROVAL/SPECIAL PERMIT # ~~2013-01~~

Name and mailing address of Applicant AEPM International LLC 241 MAIN ST ANSONIA, CT 06401 Phone: ()	Location of Property 1125 MAIN STREET WATERTOWN, CT 06795
Name and address of Owner SABRINA SIGNOLE 1125 MAIN STREET LLC 1125 MAIN ST. Watertown CT 06795	Zone <u>BG</u> non-conforming? <u>NO</u> Map <u>3526</u> Block . Lot .

Description of Existing Use/Property

Type of Use	Currently Retail space on Main St. All other space unoccupied.
Size of property	18,030 SF or .414 acre
Buildings	two structures
Parking	12-15
other important features	
Signage(# of signs & square feet)	To be determined with Tenant

Description of Proposed Use

Uses	Mixed Use Commercial/Retail Floor 1 Residential Floors 2 & 3
Buildings	Two to remain
Parking	12-15
Signage(# of signs & square feet)	to be determined with new tenants
Number of Employees	TBD

Where applicable, number of: N/A

Hotel/Motel Rooms	Convalescent Home		
Hospital/Clinic Beds	Occupants of Assembly Hall		
Water & Sewer to be provided by			
Professional Engineer/Surveyor name and address GARY GIORDANO 19 Ferrell Farm Rd Bethlehem, CT	Date Submitted	Date Rec'd	PH Date
Phone: (203) 266-6760	Project Number:	Fee:	
Signature of Applicant	Date	Signature of Owner	Date



Town of Watertown

Connecticut

06795

Town of Watertown
Public Works Department
Heminway School Town Hall
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5240
Fax (860) 945-2707
www.watertownct.org

To: Mark Massoud, Administrator for Land Use and Building Services/ZEO

From: Paul Bunevich, Town Engineer

Date: April 27, 2023

Subject: Interior Fit Out
1125 Main Street
Watertown

I have reviewed the Site Plan dated 03/30/2023, and a letter dated April 3, 2023, both by AEPMI Design and Building Consultants requesting modification of the existing commercial building at the above address. I have the following comments for your consideration:

- 1) The Plan shows the existing buildings and pavement limits, with 15 proposed parking spaces. There are no new improvements shown other than striping for the parking spaces.
- 2) The parking requirements noted in the above letter state that the 15 parking spaces for the mixed commercial/residence uses in the building will be more than the 11 required. The spaces shown are smaller than the nine feet by eighteen feet required for 90 degree, or nine feet by nineteen feet spaces required for 60 degree parking. I would suggest widening the spaces to the nine foot standard width, which would result in losing three spaces for a net of 12 versus the 11 required.
- 3) Provision for storm water runoff treatment for any additional impervious area which might be installed for additional parking must be calculated and implemented as part of any Site Plan approval.

The above comments are relatively minor in nature and should not interfere with any possible motion for approval by the Commission, as long as compliance with comments in the above items are stipulated to in the Motion. If you have any questions please contact me.



Town of Watertown

Connecticut

06795

Town of Watertown
Public Works Department
Heminway School Town Hall
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5240
Fax (860) 945-2707
www.watertownct.org

To: Mark Massoud, Administrator for Land Use and Building Services/ZEO

From: Paul Bunevich, Town Engineer

Date: April 25, 2023

Subject: Interior Fit Out
1125 Main Street
Watertown

I have reviewed the Site Plan dated 03/30/2023 by AEPMI Design and Building Consultants for the above referenced project. I have the following comments for your consideration:

- 1) The Plan shows the existing buildings and pavement limits, with 16 proposed parking spaces. There are no new improvements shown other than striping for the parking spaces.
- 2) There are no parking requirement notes on the Plan. Based on the stated building square footage (which does not state if the second floor area is included), and assuming the garage is used for storage, eight spaces would be required. Of the 16 spaces shown, nine are within the required front or side yard setback areas, which are prohibited areas for parking. The spaces shown are smaller than the nine feet by eighteen feet required for 90 degree, or nine feet by nineteen feet spaces required for 60 degree parking. Some of the spaces are shown within the six foot required separation distance from the buildings.
- 3) Provision for storm water runoff treatment for any additional impervious area which might be installed for additional parking must be calculated and implemented as part of any Site Plan approval.

The above comments are relatively minor in nature and should not interfere with any possible motion for approval by the Commission, as long as compliance with comments in the above items are stipulated to in the Motion. If you have any questions please contact me.



Outsourced Risk Management Solutions LLC

Property

Job Name: Signore's Place LLC
1125 - 1133 Main Street
Watertown, CT 06795
Constructed in 1977

Date: March 18, 2022

File #: ION.DR.13510

Professional Opinion

Based on the review of the available government records and historical records described below, we have conducted an ORMS Desktop Review and concluded that the findings are:

Low Risk

Elevated Risk

Recommendations:

Based solely on the information evaluated as part of this review, the subject property is considered a low risk, and ORMS suggests that no further environmental investigation is necessary at this time.

Intake/Environmental Checklists:

- The checklist for 1125 Main Street, signed by the borrower, Sabrina Signore, on 3/10/2022, indicates that the property was formerly occupied by a NAPA retail parts store/office, and its intended future use is retail/residential/office use. Renovation will be required. No environmental concerns were identified. The building is heated via electricity.
- The checklist for 1133 Main Street, signed by the borrower, Sabrina Signore, on 3/10/2022, indicates that the property is occupied by a restaurant, and its intended future use is a restaurant. The building is heated via natural gas. One or more former USTs (underground storage tanks) were identified.

Government Database Records:

- Based on the database report only, there are four (4) environmental records associated with the subject property address at 1133 Main Street. There are zero records for the subject property address at 1125 Main Street.
 - A SPILLS database record documents a 2001 incident where the responsible party appears to be CL&P (now Eversource) and where a broken hose resulted in a 1-gallon release of hydraulic oil that is noted to have been cleaned. Most likely the incident occurred in the street right-of-way, rather than on the subject property itself. In any case, the quantity of released material was minimal, it was cleaned, and the regulatory status of the record is CLOSED. This is not considered a significant environmental concern for the subject property.
 - A record in the FIND/FRS database indicates that the subject property, identified as Home Plate Restaurant, is of some environmental interest. No other detail is provided, but this record is likely to be associated with the other records summarized below.
 - Records in the UST and CT MANIFEST databases may be related to the same circumstances. The UST record documents the removal of three (3) 3,000-gallon gasoline tanks. The date(s) of removal were not specified in

LIMITATIONS OF LIABILITY

This report was prepared for the use of ION Bank and the U.S. Small Business Administration exclusively and is based solely on the review of environmental data referenced in this review. It also contains certain information obtained from a variety of public and other sources reasonably available to ION Bank. It cannot be concluded from this report that coverage and/or information for the subject and surrounding properties does not exist from other sources. This report did not include a review of any separate environmental documentation obtained independently by ION Bank unless specifically noted. A prior report was not provided for review.



Outsourced Risk Management Solutions LLC

the record, but the tanks' last use was listed as January 1975. The CT MANIFEST record documents the removal of 3,000 gallons of waste flammable liquid in March 1980. This type of record is typical of waste that would be generated by cleaning tanks that had held gasoline, upon their removal. Although the USTs were last used in 1975, based on the record that the liquid waste was shipped, and presumably generated, in March 1980, and the supplemental letters noted below were dated in May 1980, ORMS presumes that the USTs were removed in March 1980 and that the UST and CT MANIFEST records are both associated with the UST removals.

- Twenty-two (22) records are noted within $\frac{1}{8}$ mile of the subject property.
 - Based on the type of record, its regulatory status, and its relative location (distance and elevation), none of these records is likely to affect the subject property.
- There are thirty (30) records noted between $\frac{1}{8}$ - $\frac{1}{4}$ of a mile from the subject property.
 - Based on the type of record, its regulatory status, and its relative location (distance and elevation), none of these records is likely to affect the subject property.
- There were twelve (12) records noted beyond $\frac{1}{4}$ of a mile from the subject property.

Supplemental City Information:

A previous ORMS EnviroFlash report in May 2013 for 1133 Main Street included summaries of two letters documenting the absence of releases from the USTs removed as noted above. The letters were from the local Fire Chief/Marshal and the contractor who removed the tanks. Both letters were dated in May 1988. Based on this supplemental information, ORMS opined that the former USTs and their removal constituted a low environmental risk to the property.

Fire Insurance Maps:

- Based upon research conducted by ERIS, fire insurance maps were not available for the subject property.

City Directories:

- A city directory review as conducted by ERIS provided directories for the years 1942-1968 with at least two directories per decade, and 1998-2020 at approximately 4-year intervals.
 - The 1942 city directory does not list the subject site.
 - The 1947-1958 city directories indicate that 1125 Main Street is occupied by individuals and, beginning in 1956, also by Vaughn Brothers Television, and 1133 Main Street is occupied by The Connecticut Fuel Gas Corp. In 1964, the 1133 Main Street site is vacant.
 - The 1968 city directory indicates that 1125 Main Street is occupied by individuals and Vaughn Brothers Television, and 1133 Main Street is occupied by Chapins Chevron.
 - The 1998-2020 city directories indicate that 1125 Main Street is occupied by an auto parts business, and 1133 Main Street is occupied by Homeplate Restaurant.

Aerial Photographs:

LIMITATIONS OF LIABILITY

This report was prepared for the use of ION Bank and the U.S. Small Business Administration exclusively and is based solely on the review of environmental data referenced in this review. It also contains certain information obtained from a variety of public and other sources reasonably available to ION Bank. It cannot be concluded from this report that coverage and/or information for the subject and surrounding properties does not exist from other sources. This report did not include a review of any separate environmental documentation obtained independently by ION Bank unless specifically noted. A prior report was not provided for review.



Outsourced Risk Management Solutions LLC

- A review of online aerial photograph was conducted. Aerial photographs for the years 1934, 1955-1991 with at least one photograph per decade, and even years 2004-2018 were reviewed at <http://www.historicaerials.com>. (The 2006 photograph is blank.)
 - The 1934 aerial photograph's quality is too poor to interpret site occupancy.
 - The 1955 & 1966 aerial photographs indicate that 1125 Main Street is occupied by a building that appears to be residential and 1133 Main Street is occupied by a building set further back from the street than the current building.
 - The 1969 & 1972 aerial photographs indicate that 1125 Main Street is occupied by the current building and 1133 Main Street is occupied by several structures, one of which is similar to the building seen in the previous photographs. The 1972 aerial photograph shows multiple parked vehicles at 1133 Main Street.
 - The 1985-2018 aerial photographs indicate the subject site is occupied by the two current buildings.

Parcel Information:

- According to information provided to ORMS and verified through the Town of Watertown Assessor & Treasurer online database, the subject property at 1125 Main Street consists of 0.44 acres of land. This property is developed with a 2,642 square foot building constructed in 1920.
 - According to information provided to ORMS and verified through the Town of Watertown Assessor & Treasurer online database, the subject property at 1133 Main Street consists of 0.46 acres of land. This property is developed with a 2,535 square foot building constructed in 1977.
-

LIMITATIONS OF LIABILITY

This report was prepared for the use of ION Bank and the U.S. Small Business Administration exclusively and is based solely on the review of environmental data referenced in this review. It also contains certain information obtained from a variety of public and other sources reasonably available to ION Bank. It cannot be concluded from this report that coverage and/or information for the subject and surrounding properties does not exist from other sources. This report did not include a review of any separate environmental documentation obtained independently by ION Bank unless specifically noted. A prior report was not provided for review.



Outsourced Risk Management Solutions LLC

- A review of online aerial photograph was conducted. Aerial photographs for the years 1934, 1955-1991 with at least one photograph per decade, and even years 2004-2018 were reviewed at <http://www.historicaerials.com>. (The 2006 photograph is blank.)
 - The 1934 aerial photograph's quality is too poor to interpret site occupancy.
 - The 1955 & 1966 aerial photographs indicate that 1125 Main Street is occupied by a building that appears to be residential and 1133 Main Street is occupied by a building set further back from the street than the current building.
 - The 1969 & 1972 aerial photographs indicate that 1125 Main Street is occupied by the current building and 1133 Main Street is occupied by several structures, one of which is similar to the building seen in the previous photographs. The 1972 aerial photograph shows multiple parked vehicles at 1133 Main Street.
 - The 1985-2018 aerial photographs indicate the subject site is occupied by the two current buildings.

Parcel Information:

- According to information provided to ORMS and verified through the Town of Watertown Assessor & Treasurer online database, the subject property at 1125 Main Street consists of 0.44 acres of land. This property is developed with a 2,642 square foot building constructed in 1920.
 - According to information provided to ORMS and verified through the Town of Watertown Assessor & Treasurer online database, the subject property at 1133 Main Street consists of 0.46 acres of land. This property is developed with a 2,535 square foot building constructed in 1977.
-

LIMITATIONS OF LIABILITY

This report was prepared for the use of ION Bank and the U.S. Small Business Administration exclusively and is based solely on the review of environmental data referenced in this review. It also contains certain information obtained from a variety of public and other sources reasonably available to ION Bank. It cannot be concluded from this report that coverage and/or information for the subject and surrounding properties does not exist from other sources. This report did not include a review of any separate environmental documentation obtained independently by ION Bank unless specifically noted. A prior report was not provided for review.



**OFFICE ADDRESS:
 241 MAIN STREET
 ANSONIA, CT 06401
 203-308-0028
 www.aepmi.net**

A Minority Business Enterprise

**Watertown Planning & Zoning Application
 1125 Main Street**

**Proposal to modify building from Commercial to Mixed Use Residential/Commercial
 April 3, 2023**

AEPM International, located at 241 Main Street, Ansonia is representing the building owner 1125 Main Street LLC in this request to change the use of 1125 Main Street from Commercial/Retail use to Mixed Use Residential/Commercial/Retail space.

STATEMENT OF USE: The building owner is proposing to change the makeup of the building from a partially occupied Commercial building to 2 Market rate apartments on floors 2 & 3, and providing at least one, possible two professional/commercial business suite on floor 1 with the potential of providing addition recreational residential tenant space to the rear of the lot.

The top two floors of market rate apartments will be a mix of an efficiency a one-bedroom apartment, and two-bedroom apartments for a total of 2 residential apartments.

Building modifications will include Exterior renovations, complete demolition of the second and third floors and the rebuilding per the plans submitted. Upon approval by this commission, final construction drawings will be submitted to the Fire Marshal and Building Department for building permits. Upon obtaining the building permits, the construction will take approximately 6 months to 9 months to complete and ready for occupancy.

PARKING: The building currently is in the "B-G" Zone. We are requesting a modification under Section 50 of the Zoning regulations whereby the existing building is no longer viable to any single tenant. Based upon the building size, parking requirements will change, and the property will be modified to accommodate the additional parking and recreational space for new tenants.

Existing 1st Floor parking 5 spaces Proposed 1st floor parking 9 spaces.
 Existing 2nd & 3rd floor parking 0 spaces Proposed 2nd & 3rd floor parking 6 spaces.

Square footage of net rentable property is as follows:

First Floor	1,540 SF Commercial space	1 spaces/ 250 sq.ft floor area	7 Spaces
Second Floor	665 SF Residential	1Efficiency-One Bedroom	1.5 Spaces
Third Floor	835 SF Residential	1-Two Bedroom	2.5 Spaces

CONSTRUCTION SEQUENCE: The building currently has no tenants occupying space in the building. Up until 2 years ago, this building was 40% occupied within a rapidly deteriorating building. Once the P & Z submission is approved, construction drawings will be completed for all three floors and construction should begin within 30 days of approval. Based upon an approval by May 3, 2019, the

apartments could be completed before the end of the year.

A permit for temporary construction dumpsters will be requested on the side of the building during the period of construction. A Permanent dumpster will be located between the residential parking, with fencing that will be of compatible design to the building and environment.

SIGNAGE: Signage has not been finalized and will be submitted upon tenant lease and presented to the Zoning Office. Both exterior lighting and signage will be designed in accordance with City regulations and will be done to enhance the building appearance.

LANDSCAPING and OPEN SPACE/RECREATION: The existing site and open space is limited and will be landscaped. As part of the site development, we will turn the remaining open space into green space for tenant use.

INTERIOR FIT OUT

1125 MAIN STREET, WATERTOWN, CT 06779

AEPMI
DESIGN & BUILDING CONSULTANTS

241 Main Street, Ansonia CT 06401

DESIGN PROGRESS SET

03/30/2023

DWG NO.

THIS DRAWING IS THE PROPERTY OF AEPMI AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM AEPMI.

DWG DATE



NO.	DATE	DESCRIPTION

PROJECT NO.	
PROJECT OWNER	
DESIGNER	
PROJECT MANAGER BY FIELD	
DRAWN BY	

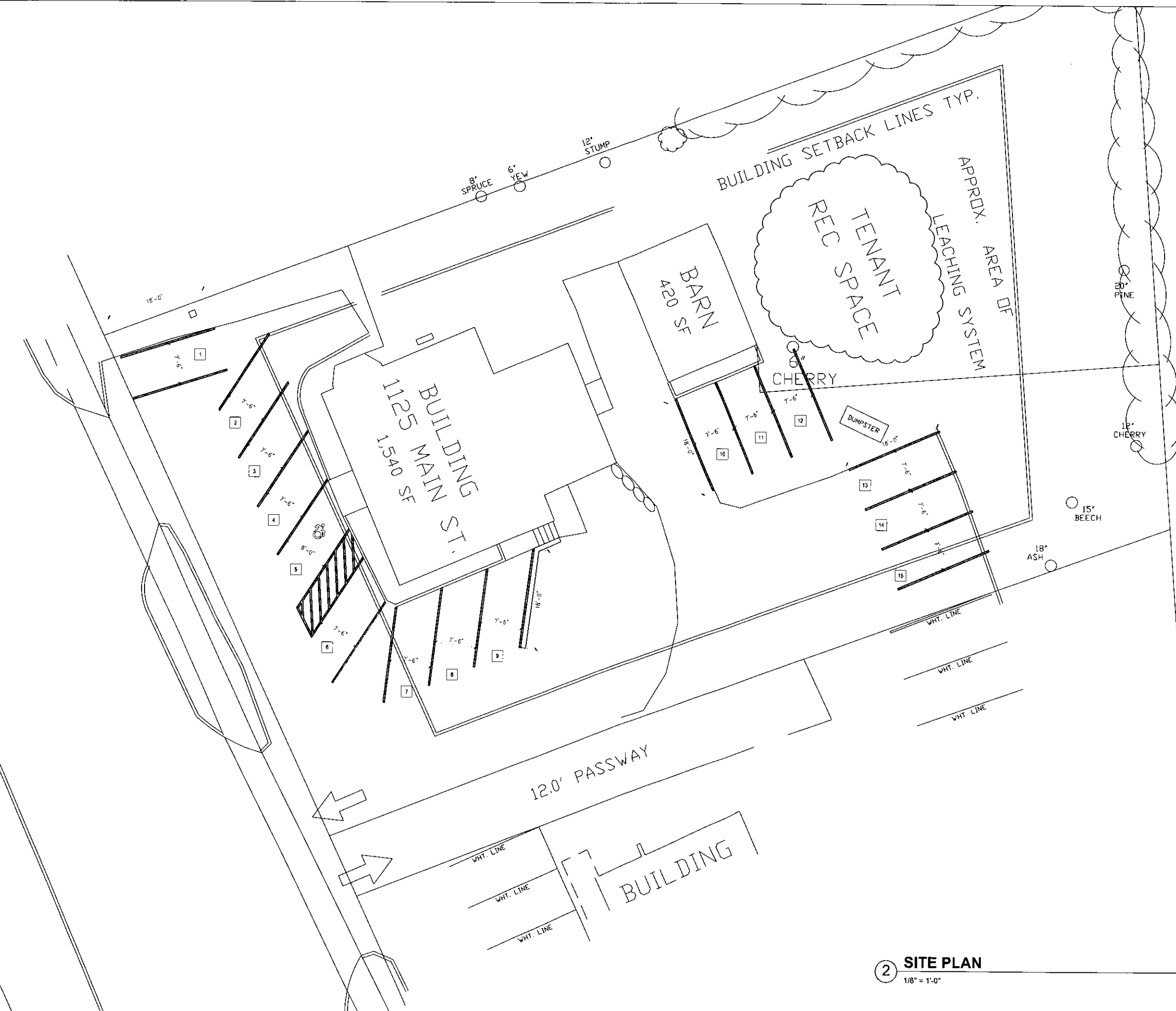
PROJECT: INTERIOR FIT OUT

ADDRESS
**1125 MAIN STREET,
WATERTOWN,
CT 06779**

SITE PLAN

DATE	03/30/2023
SCALE	1/8" = 1'-0"
PROJECT NUMBER	CT22241

C100



2 SITE PLAN

1/8" = 1'-0"

NEW WINDOWS
GROUND FLOOR: 8 WINDOWS (STOREFRONT WINDOWS TO CHANGE)
SECOND FLOOR: 8 WINDOWS (ORIGINALLY 9, WINDOW BY STAIR TO BE INFILLED)
THIRD FLOOR: 3 WINDOWS (ORIGINALLY 4, INTERIOR WINDOW TO BE INFILLED)

AEPMI
DESIGN & BUILDING CONSULTANTS

ARIZONA, CONNECTICUT
NEW YORK, NEW YORK

PHONE 202 336 2618
WWW.AEPMI.NET

THIS DRAWING AND DETAIL SET IS THE PROPERTY OF AEPMI AND MAY BE USED FOR THE PROJECT AND SHALL NOT BE REPRODUCED, COPIED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF AEPMI.



NO.	DATE	DESCRIPTION

PRINCIPAL IN CHARGE

PROJECT NUMBER

REVISION

PROJECT NUMBER - ENCAPS

DATE

PROJECT:

INTERIOR FIT OUT

ADDRESS

**1125 MAIN STREET,
WATERTOWN,
CT 06779**

DATE PLOT

FLOOR PLANS

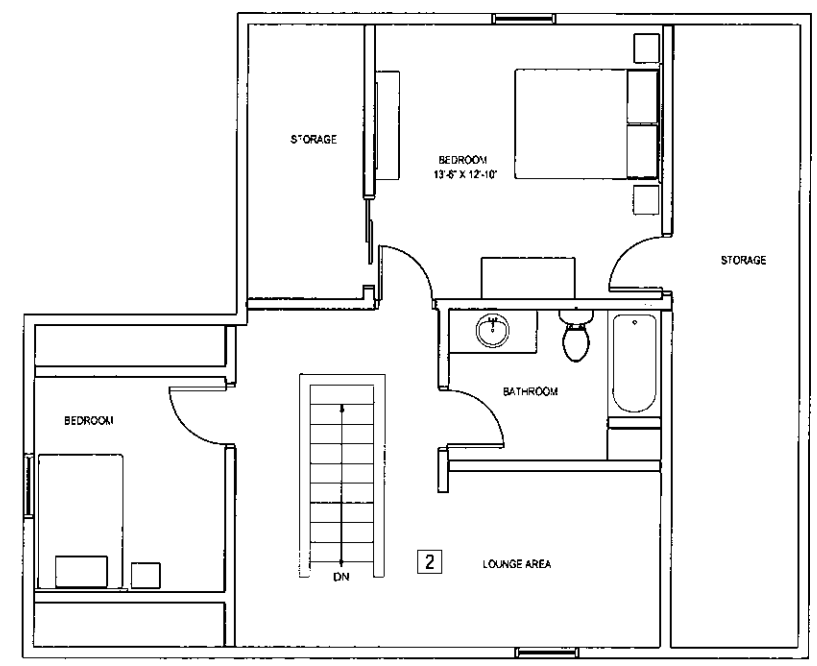
DATE: 03/30/2023

SCALE:

PROJECT NUMBER: CT22241

DRAWING NO.:

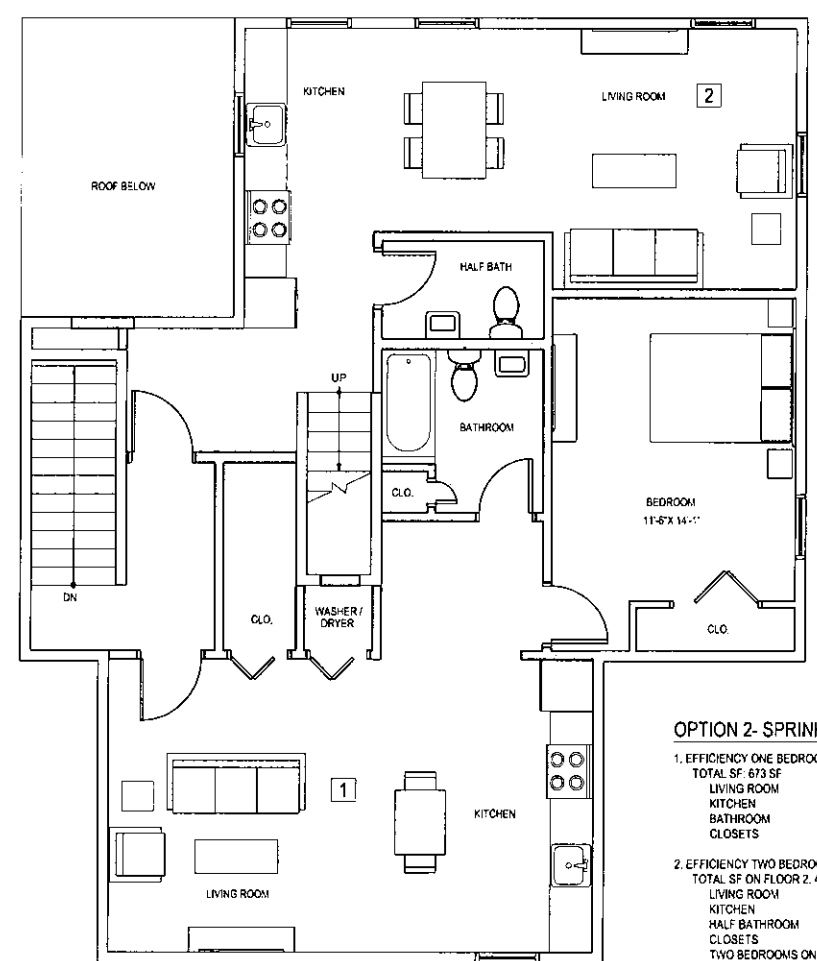
A101



3 THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

OPTION 2- SPRINKLER

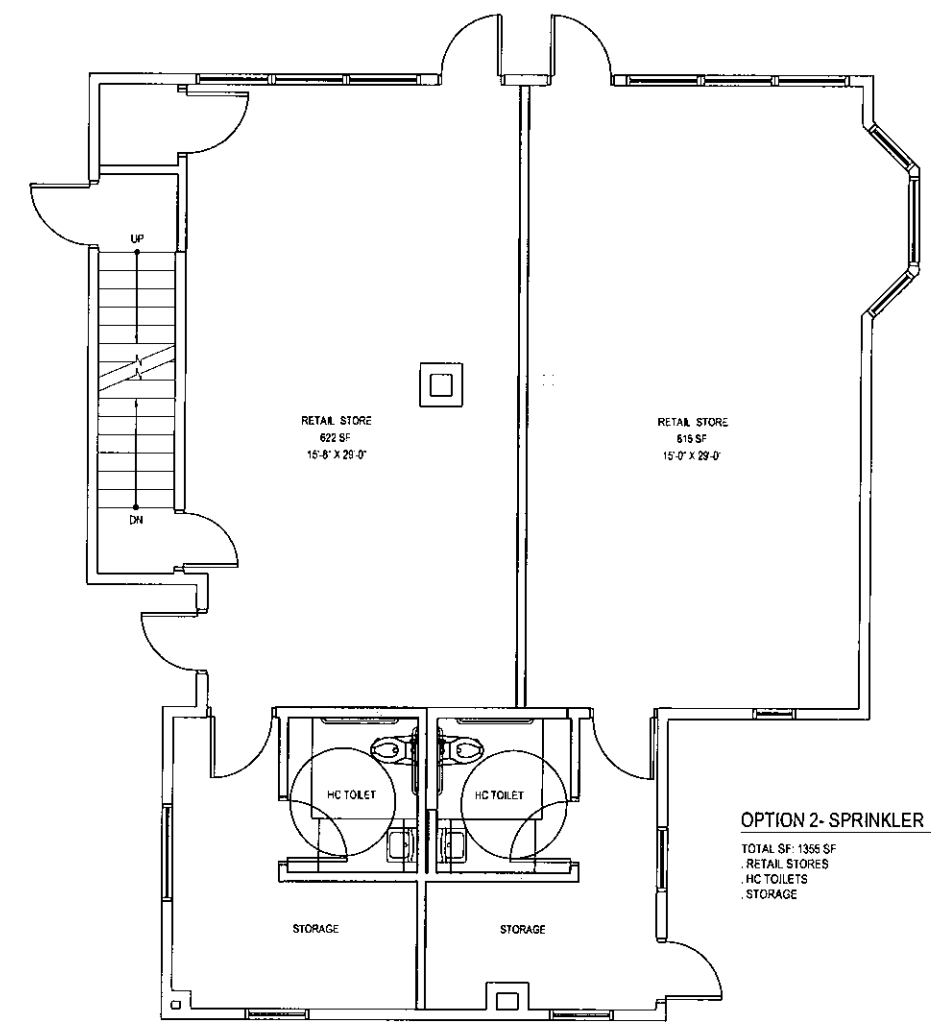
- 2. EFFICIENCY TWO BEDROOM APT
- TOTAL SF ON FLOOR 3: 856 SF
- TWO BEDROOMS
- BATHROOM
- LOUNGE AREA
- CLOSETS
- STORAGE



2 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

OPTION 2- SPRINKLER

- 1. EFFICIENCY ONE BEDROOM APT
 - TOTAL SF: 673 SF
 - LIVING ROOM
 - KITCHEN
 - BATHROOM
 - CLOSETS
- 2. EFFICIENCY TWO BEDROOM APT
 - TOTAL SF ON FLOOR 2: 443 SF
 - LIVING ROOM
 - KITCHEN
 - HALF BATHROOM
 - CLOSETS
 - TWO BEDROOMS ON THIRD FLOOR
 - BATHROOM ON THIRD FLOOR



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

OPTION 2- SPRINKLER

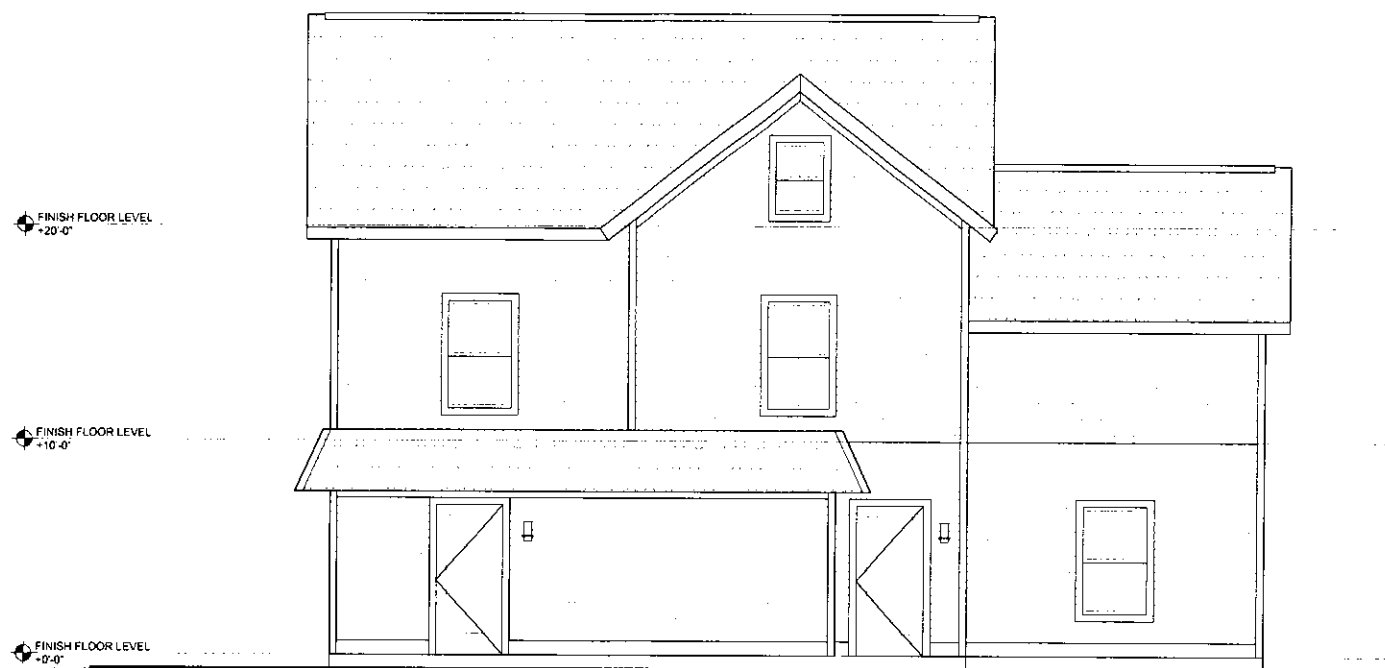
- TOTAL SF: 1355 SF
- RETAIL STORES
- HC TOILETS
- STORAGE

DATE:

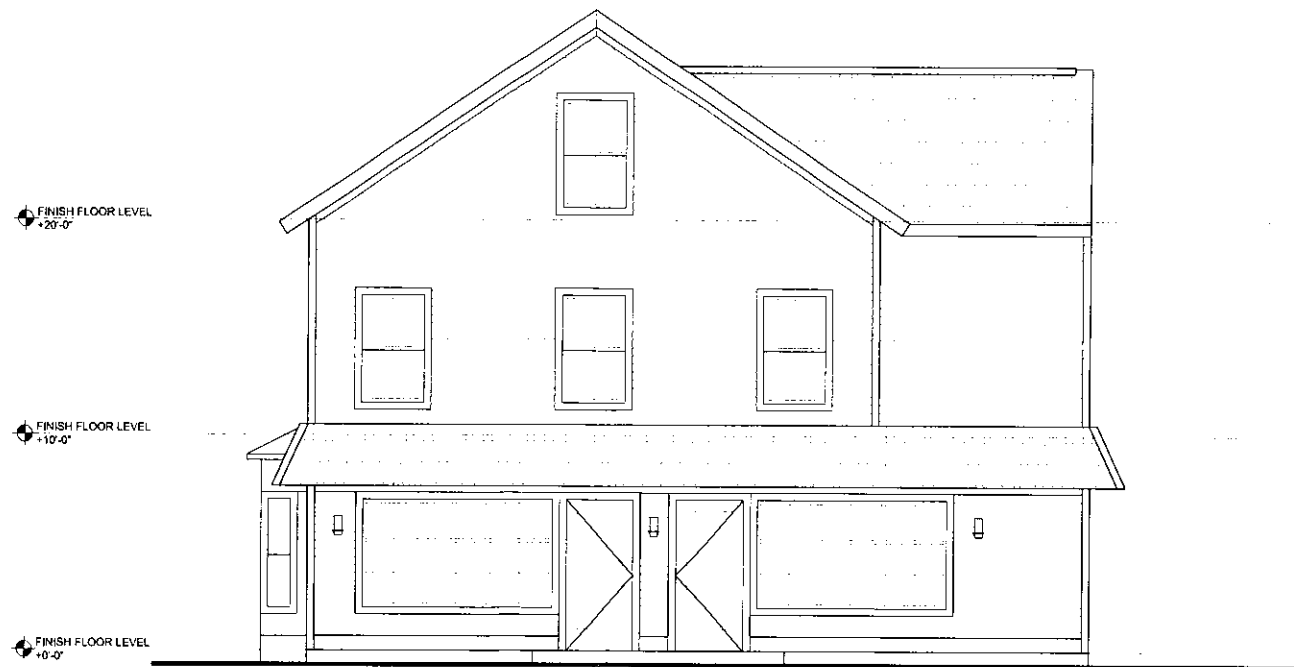
THIS DRAWING AND DETAILS SHOWN HEREON ARE THE PROPERTY OF AEP MI AND MAY BE USED FOR THE SPECIFIC PROJECT AND ONLY. NO RE-USE, RE-PRINTING OR REPRODUCTION IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF AEP MI.



REVISIONS	
NO.	DESCRIPTION



2 SIDE ELEVATION
SCALE: 1/4"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

PROJECT NUMBER: _____
PROJECT ADDRESS: _____

PROJECT:
INTERIOR FIT OUT

ADDRESS:
1125 MAIN STREET,
WATERTOWN,
CT 06779

DRAWING TITLE:
EXTERIOR
ELEVATIONS

DATE: 03/30/2023

PROJECT NUMBER: CT22241

A401



TOWN OF WATERTOWN CONNECTICUT
 51 Depot Square Business Center
 Suite 502 • Watertown, Connecticut 06795-2200
 Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency
 Telephone: (860) 945-5266 Fax: (860) 945-2704

SITE PLAN APPROVAL/SPECIAL PERMIT #2023-01

Name and mailing address of Applicant 795 Straits Tpk, LLC 56 Echo Lake Road Watertown CT Phone: (203) 228-3873	Location of Property 795 Straits Tpk Watertown CT
Name and address of Owner Peter Lupachino 1451 Greenestown Rd. Watertown	Zone <u>BSC</u> non-conforming? Map <u>165th</u> Block <u>257</u> Lot <u>50</u>

Description of Existing Use/Property

Type of Use	Vacant
Size of property	73,676 sq. ft.
Buildings	1
Parking	200 +/-
other important features	none
Signage(# of signs & square feet)	none

Description of Proposed Use

Uses	Dancehall
Buildings	1
Parking	as needed
Signage(# of signs & square feet)	3
Number of Employees	12

Where applicable, number of:

Hotel/Motel Rooms	Convalescent Home
Hospital/Clinic Beds	Occupants of Assembly Hall
Water & Sewer to be provided by	

Professional Engineer/Surveyor name and address	Date Submitted	Date Rec'd	PH Date
Phone: ()	Project Number:	Fee:	
Signature of Applicant	Date	Signature of Owner	Date

Ashley
Revised 2/05

Peter Lupachino



Town of Watertown

Connecticut

06795

Town of Watertown
Public Works Department
Heminway School Town Hall
61 Echo Lake Road
Watertown, CT 06795
(860) 945-5240
Fax (860) 945-2707
www.watertownct.org

To: Mark Massoud, Administrator for Land Use and Building Services/ZEO

From: Paul Bunevich, Town Engineer

Date: April 21, 2023

Subject: Phase 1 - Daycare Center
795 Straits Turnpike
Watertown

I have reviewed the proposed Site Plans dated April 18, 2023 by Design Development Group, Inc. for the above referenced project. I have the following comments for your consideration:

- 1) The proposed traffic pattern will have the inbound traffic on the left side of the driveway and the outbound traffic on the right side of the driveway. This is counterintuitive to the way traffic patterns are normally aligned. There must be sufficient signage and lane stripping to ensure that traffic flows in the manner proscribed on the Plans. The Connecticut DOT District IV office in Thomaston should be consulted on the final driveway alignment.
- 2) There are no parking requirement notes on the Plans. There appears to be sufficient parking and queueing available on the site based on the proposed layout.
- 3) The existing catch basin on the south side of the upper parking area drains into the building, where existing inside basins are shown: the existing drainage system must be inspected and cleaned out if necessary.
- 4) Provision for storm water runoff treatment for any additional impervious area from the driveway widening, etc. must be calculated and implemented as part of the Site Plan approval.

The above comments are relatively minor in nature and should not interfere with any possible motion for approval by the Commission, as long as the above items are stipulated to in the Motion. If you have any questions please contact me.

PILICY RYAN & WARD, P.C.
ATTORNEYS AT LAW

FRANKLIN G. PILICY
fpilicy@prwpc.com
Also Admitted in MA

www.PRWPC.com

CHARLES A. RYAN
cryan@prwpc.com
Also Admitted in MA

WILLIAM W. WARD
billward@prwpc.com
Fellow, College of Community
Association Lawyers

235 Main Street
Watertown, Connecticut 06795
Phone (860) 274-0018
Fax (860) 274-0061

JILLIAN A. JUDD
jjudd@prwpc.com

DONALD J. RINALDI
drinaldi@prwpc.com
As of Counsel to the Firm

1318 Bedford Street
Stamford, Connecticut 06905
Phone (203) 975-1151
Fax (203) 975-1821

BENJAMIN A. SAAVEDRA
bsaavedra@prwpc.com
Also Admitted in MA

April 27, 2023

Mark Massoud
Land Use Administrator
Planning & Zoning Officer
61 Echo Lake Road
Watertown, CT 06795

**RE: 795 Straits Turnpike
Site Plan/ Special Permit #2023-01, River Oak Academy, Day Care Center,
795 Straits Turnpike, Watertown, CT Map 165A, Block 257, Lot 50 in a BSC
Zoning District
Environmental Impact Statement**

Dear Mark Massoud,

9.5.1 The likely impact of the proposed development on the characteristics of the surrounding neighborhood addressing such issues as congestion on public streets, harmony with surrounding development, effect on property values, and overall neighborhood stability.

It is likely there will be no impact from the proposed development on the characteristics of the surrounding neighborhood. The public street is more than adequate. There will be no adverse effect on property values. The neighborhood stability will be improved because this long-abandoned property will be redeveloped for an active use.

9.5.2 Consistency of the proposed development with the objectives of the Town Plan of Conservation and Development.

The proposed development is consistent with the Town Plan of Conservation and Development. The use is authorized in this zone. The development will result in a new business and improvements to the real property. There will be additional employment and additional tax revenue meeting the goals of the Town Plan of Conservation and Development.

9.5.3 The extent to which any sensitive environmental features on the site may be disturbed and measures to mitigate these impacts. Consideration shall be given to steep slopes (including erosion control), wetlands, drainage ways, and vegetation and any other land feature considered to be significant.

There will be no disturbance to sensitive environmental features.

9.5.4 The impact of the proposed development on the water supply, sanitary sewer, and storm drainage system of the Town and indication of improvements that may be necessitated by the project.

The site is served by public water and public sanitary sewer.

9.5.5 Analysis of vehicular and pedestrian traffic impact on the street system and proposed methods of handling situations where the street system is found to be inadequate. (A traffic study, if required per Subsection 9.4, above, will satisfy this information requirement.)

There will be no vehicular and or pedestrian traffic impact on the street system.

9.5.6 Analysis of how the proposed project will affect various Town services such as police, fire, schools, and recreation.

There will be no affect to various Town services such as police, fire, schools, and recreation.

9.5.7 Identification of adverse impacts which cannot be avoided.

There are no adverse impacts.

9.5.8 Identification of alternatives to the proposed action.


There are no alternatives to the proposed development. The site has been vacant for a number of years.

9.5.9 Descriptions and explanations of mitigation proposed for adverse impacts.

There are no adverse impacts.

If you have any questions or concerns please contact the undersigned at your convenience.

Respectfully,

By 
Franklin G. Pilicy
Its Attorney

PILICY RYAN & WARD, P.C.
ATTORNEYS AT LAW

FRANKLIN G. PILICY
fpilicy@prwpc.com
Also Admitted in MA

WILLIAM W. WARD
billward@prwpc.com
Fellow, College of Community
Association Lawyers

DONALD J. RINALDI
drinaldi@prwpc.com
As of Counsel to the Firm

www.PRWPC.com

235 Main Street
Watertown, Connecticut 06795
Phone (860) 274-0018
Fax (860) 274-0061

1318 Bedford Street
Stamford, Connecticut 06905
Phone (203) 975-1151
Fax (203) 975-1821

CHARLES A. RYAN
crvan@prwpc.com
Also Admitted in MA

JILLIAN A. JUDD
jjudd@prwpc.com

BENJAMIN A. SAAVEDRA
bsaavedra@prwpc.com
Also Admitted in MA

March 29, 2023

Planning and Zoning Commission
Town of Watertown
Watertown Municipal Center
61 Echo Lake Road
Watertown, CT 06795

Re: 795 Straits Turnpike
Interpretation of Zoning Regulations
Proposed Use

Planning and Zoning Commission ("Commission"):

This Office represents Peter Lupachino, Owner ("Owner") of 795 Straits Turnpike, Watertown, CT. The Property is located in the shopping center business (B-SC) District. The Owner is seeking to locate a business within a portion of the building for the following uses that are car related; detailing cars, install car navigation and entertainment systems, car preparation and improvements, tinting car windows, and related automotive uses. There will be no car sales of any nature. There will be no traditional repairs of any nature.

It is the position of the Owner that this is a permitted use pursuant to Section 17.3.1 of the Watertown Zoning Regulations.

"17.3.1 B-SC District Uses and Structures Permitted by Site Plan Approval. (a.) Stores or shops for the conduct of retail business. (b.) Stores or shops for the conduct of personal service businesses."

The Owner respectfully requests a Planning and Zoning Interpretation of the regulations to determine that the proposed use is a permitted use under the existing Zoning Regulations.

If you have any other questions please contact the undersigned at your convenience.

RESPECTFULLY,

BY: /s/046648
Franklin G. Pilicy, Esq.



RIVER OAK ACADEMY

A large area of the page is filled with horizontal lines, suggesting a writing or drawing area. The lines are light blue and green, and are spaced evenly down the page.

EXISTING NOTES

GENERAL NOTES

1. ALL DIMENSIONS ARE INTERIOR DIMENSIONS, FINISHED WALL TO FINISHED WALL. DIMENSIONS GIVEN IN THE FIELD ON 5/16/23 - 5/19/23.
2. WINDOWS ON SECOND FLOOR HAVE AN MANUAL WINDOW FOR VENT AND ON WITH 2 PIPED WINDOWS. MANUAL WINDOW THE SCREEN MESH WINDOWS ON FIRST FLOOR NOT LISTED IN WINDOW SCHEDULE ARE PART OF EXISTING WALL AND ARE FIELD.
3. EXISTING FIRE PROTECTION SYSTEM IN THE OPERATED AREA CONSIDERED OR RECESSER SPRINKLES IN THE CEILING, IN EVERY ROOM AND SEVERAL IN RECESSER AREAS (NOT SHOWN). WALL MOUNTED SPRINKLES AND SEVERAL WALL MOUNTED FIRE EXTINGUISHERS.
4. AMOUNT OF STORES OF STRUCTURE: 2
5. MESSAGED AREA WAS USED FOR AUTOMOTIVE SALES.
6. HEAVING OF STRUCTURE IS FORCED HOT AIR FUEL IS WATER, GAS.
7. CONSTRUCTION, EXTERIOR FINISH OF STRUCTURE IS MASONRY/CONCRETE BLOCK.
8. STRUCTURE WALL AND MAINTAINED SINCE 1963.
9. SQUARE FOOTAGE IS OF THE MESSAGED AREA ON SHEETS A-1 AND A-2.

CLASSIFICATION & CONSTRUCTION TYPE:

1. CLASSIFICATION OF USE IS GROUP B
2. TYPE OF CONSTRUCTION IS TYPE 3

SQUARE FOOTAGE

FIRST FLOOR: 3680 SF.
 SECOND FLOOR: 1868 SF.
 TOTAL: 4948 SF.

Door Schedule

Door Size	Door Size	Type	Quantity
D1	3'-0" x 7'-0"	EXTENSION - SINGLE - GLASS/QUARTAN WALL DOOR	3
D2	3'-0" x 7'-0"	EXTENSION - SINGLE - GLASS/METAL DOOR	3
D3	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR W/ SINGLE VISION LITE	6
D4	2'-0" x 6'-0"	INTERIOR - SINGLE DOOR	6
D5	2'-0" x 6'-0"	INTERIOR - SINGLE DOOR	6
D6	3'-0" x 6'-0"	INTERIOR - SINGLE DOOR	2
D7	2'-0" x 6'-0"	INTERIOR - SINGLE DOOR W/ SINGLE VISION LITE	2
D8	2'-0" x 6'-0"	INTERIOR - SINGLE METAL DOOR W/ SINGLE VISION LITE	1
D9	3'-0" x 6'-0"	INTERIOR - SINGLE METAL DOOR	1
D10	5'-0" x 6'-0"	INTERIOR - DOUBLE DOOR	1

Window Schedule

Window Size	Window Size	Type	Quantity
W1	3'-5" x 6'-0"	FIXED WINDOW/ OVER HANGING WINDOW	16
W2	2'-5" x 3'-0"	SINGLE - FIXED WINDOW	1
W3	7'-0" x 6'-0"	SINGLE - FIXED WINDOW	1
W4	3'-0" x 3'-0"	SINGLE - FIXED WINDOW	1
W5	1'-0" x 2'-0"	SINGLE - FIXED WINDOW	2
W6	1'-0" x 2'-0"	SINGLE - FIXED WINDOW	2

NOTE: CURB/WALL 19-20 W/SPONS NOT SHOWN IN WINDOW SCHEDULE

PROPOSED NOTES

GENERAL NOTES

1. ALL DIMENSIONS ARE INTERIOR DIMENSIONS, FINISHED WALL TO FINISHED WALL. DIMENSIONS GIVEN IN THE FIELD ON 5/16/23 - 5/19/23. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION OF NEW WALLS.
2. ALL EXISTING WINDOWS TO REMAIN UNLESS SHOWN OTHERWISE (SEE PROPOSED LAYOUT ON SHEETS A-3 & A-4).
3. EXISTING FIRE PROTECTION SYSTEM IN THE OPERATED AREA CONSIDERED OR RECESSER SPRINKLES IN THE CEILING, IN EVERY ROOM AND SEVERAL IN RECESSER AREAS (NOT SHOWN). WALL MOUNTED SPRINKLES AND WALL MOUNTED FIRE EXTINGUISHERS TO REMAIN IN PLACE UNLESS SHOWN OTHERWISE.
4. MESSAGED AREA TO NOW BE USED FOR CHILD DAY CARE CENTER WITH PRE-SCHOOL. "NUMBER ONE ACCELAN OF EARLY LEARNING."
5. ALL REQUIREMENTS MADE BY THE LICENSING STANDARDS FOR DAYCARE CENTERS IN CONNECTICUT TO BE FOLLOWED, INCLUDING BUT NOT LIMITED TO...
 - A) ANY NEW OPERATOR IS RESPONSIBLE FOR OBTAINING THE CENTER OR HOME AND COMPLIANCE WITH SECTIONS 19A-79-1A THROUGH 19A-79-84 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES.
 - B) THE BUILDING, EQUIPMENT AND SERVICES SHALL BE MAINTAINED IN A GOOD STATE OF REPAIR. A MAINTENANCE PROGRAM SHALL BE ESTABLISHED THAT ENSURES THAT THE INTERIOR, EXTERIOR AND GROUNDS OF THE BUILDING ARE MAINTAINED, KEPT CLEAN AND ORDERLY, FREE FROM ACCUMULATIONS OF REFUSE, DANGERS, SPRAWLING WATER, DRAINAGED STRUCTURES, AND OTHER HEALTH AND SAFETY HAZARDS.
 - C) WATER SUPPLY, FOOD SERVICE AND SEWAGE DISPOSAL FACILITIES SHALL BE IN COMPLIANCE WITH ALL APPLICABLE SECTIONS OF THE PUBLIC HEALTH CODE.
 - D) ALL WATER SUPPLIES SHALL BE TESTED EVERY TWO (2) YEARS FOR LEAD CONTENT AND THE RESULT IS SUBMITTED TO THE LOCAL AND STATE HEALTH DEPARTMENTS.
 - E) WHENEVER WATER IS OBTAINED FROM OTHER THAN A DEPARTMENT-APPROVED PUBLIC WATER SUPPLY IT SHALL BE OF A SAFE AND SANITARY QUALITY AND TESTED EVERY TWO (2) YEARS FOR BACTERIAL AND CHEMICAL QUALITY AND THE RESULTS SUBMITTED TO THE LOCAL AND STATE HEALTH DEPARTMENTS.
 - F) SANITARY DRINKING FOUNTAINS OR NONPUMPING PERSONAL DRINKING CUPS SHALL BE PROVIDED AND ACCESSIBLE TO THE CHILDREN AT ALL TIMES.
 - G) FENCIBLE AND/OR DOOR PLAYS ARE TO FOLLOW THE REGULATIONS LISTED IN LICENSING STANDARDS FOR DAYCARE FACILITIES, OF SPACES AND RECREATION CHILD CARE CENTERS AND GROUP CHILD CARE HOME, OUTDOOR PLAY SPACE (11).

CLASSIFICATION & CONSTRUCTION TYPE:

1. CLASSIFICATION OF USE IS INSTITUTIONAL GROUP I-1 & GROUP I
2. TYPE OF CONSTRUCTION IS TYPE 3

SQUARE FOOTAGE

FIRST FLOOR: 3680 SF.
 SECOND FLOOR: 1868 SF.
 TOTAL: 4948 SF.

EQUIPMENT REQUIREMENTS

- ALL EQUIPMENT SHALL BE OF STEEL DESIGN AND MATERIAL AS TO BE EXPLICITLY CALLED AND SHOWN FOR CHILDREN.
- (1) EQUIPMENT SHALL NOT BE COLORED AND/OR COVERED BY ANY PERSONS OR MATERIAL. ALL SOLID COMPONENTS OF PAINT FOR EQUIPMENT AND TOYS, AND PAINT COMPONENTS IN PINKS, PINKS, TONES, EQUIPMENT SHALL BE SHOWN, SAFELY CONSIDERED, AND FREE FROM PROTRUDING WALLS, BIST, TONE, HANGERS, AND OTHER HAZARDS.
 - (2) ACQUISITE EQUIPMENT FOR BEST SHALL BE PROVIDED AN INDIVIDUAL. COYS SHALL BE PROVIDED FOR ANY CHILD WHO BECAME REMAINS FIVE (5) YEARS OF LONGER PER DAY WHEN COYS ARE SHOWN, THEY SHALL BE WASHED AND DISINFECTED AND LINES CHANGED BETWEEN CHILDREN IN A GROUP. DAY CARE HOME AN INDIVIDUAL MAT OR NONPUMP. SLEEPING BAG MAY BE SUBSTITUTED FOR THE INDIVIDUAL COY.
 - (3) METAL EQUIPMENT SHALL BE FREE FROM RUST OR CHIPPING PAINT. HARDWARE SUCH AS NUTS AND BOLTS, WRENCHES, OR FILE EQUIPMENT SHALL BE INACCESSIBLE TO CHILDREN. THE INTERIOR AND EQUIPMENT AVAILABLE AND USED BY CHILDREN SHALL BE PERIODICALLY APPROVED FOR THE AGES OF THE CHILDREN SERVED.

Door Schedule

Door Size	Door Size	Type	Quantity
D1	3'-0" x 7'-0"	EXTENSION - SINGLE - GLASS/QUARTAN WALL DOOR	7
D2	3'-0" x 7'-0"	EXTENSION - SINGLE - GLASS/METAL DOOR	7
D3	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR W/ SINGLE VISION LITE	7
D4	3'-0" x 7'-0"	INTERIOR - SINGLE DOOR	10
D5	2'-0" x 6'-0"	INTERIOR - SINGLE DOOR	2
D6	3'-0" x 6'-0"	INTERIOR - SINGLE DOOR	4
D7	2'-0" x 6'-0"	INTERIOR - SINGLE DOOR W/ SINGLE VISION LITE	1
D8	2'-0" x 6'-0"	INTERIOR - SINGLE METAL DOOR W/ SINGLE VISION LITE	1
D9	3'-0" x 6'-0"	INTERIOR - SINGLE METAL DOOR	1
D10	5'-0" x 6'-0"	INTERIOR - DOUBLE DOOR	1

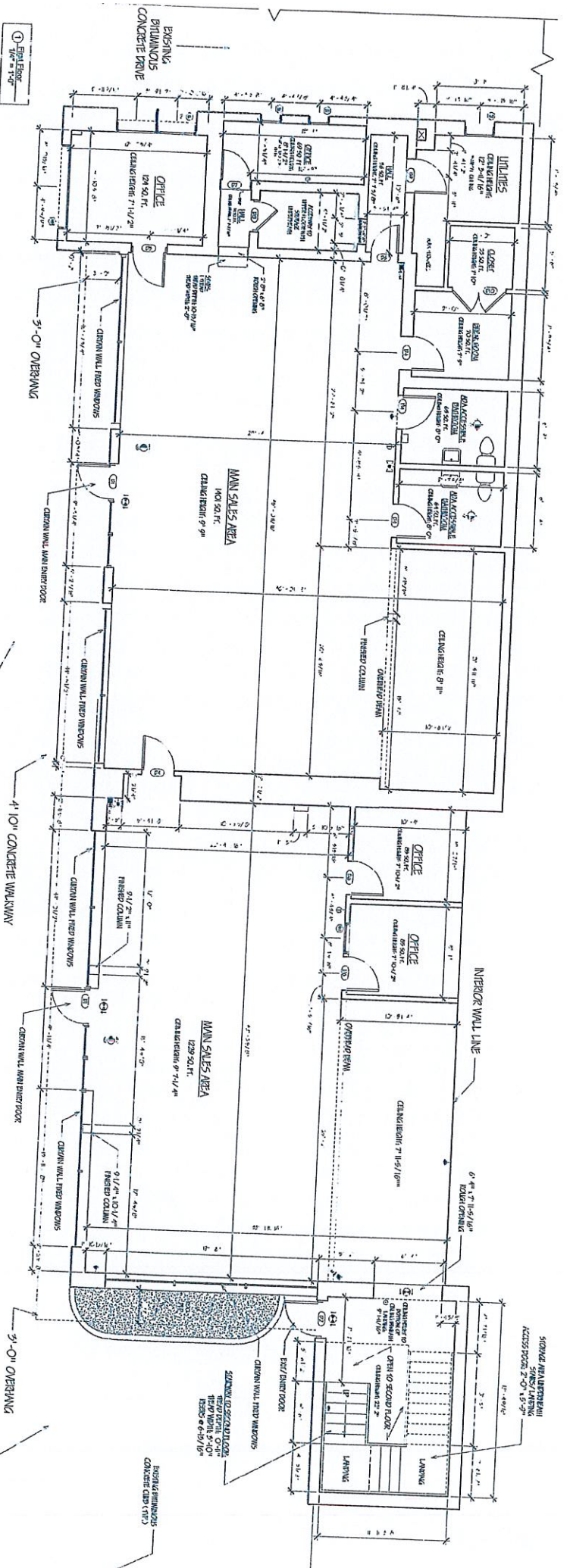
Notes & Schedules		A-0
Date	4/23/23	
Drawn by	RJC	
Checked by	MO	

Child Daycare Center /
Preschool Development Plan
 Prepared for
River Oak Academy of Early Learning

795 Straits Turnpike, LLC.
 66 Echo Lake Road
 Watertown, CT 06795

795 Straits Turnpike
 Watertown, CT 06795

NOTES:
 ALL CEILING ARE ACT SYSTEM VALUES SHOWN OTHERWISE.
 ALL CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE
 BACK OF THE ACT SYSTEM, (WHERE CEILINGS ARE NOT ACT SYSTEM
 HEIGHT IS FINISH FLOOR TO FINISHED CEILING.)



- LEGEND:**
- ① EXISTING BRIMMINOUS CONCRETE DRIVE
 - ② EXISTING BRIMMINOUS CONCRETE DRIVE
 - ③ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ④ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑤ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑥ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑦ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑧ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑨ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑩ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑪ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑫ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑬ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑭ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑮ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑯ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑰ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑱ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑲ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ⑳ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉑ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉒ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉓ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉔ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉕ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉖ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉗ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉘ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉙ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉚ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉛ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉜ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉝ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉞ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㉟ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊱ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊲ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊳ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊴ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊵ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊶ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊷ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊸ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊹ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊺ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊻ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊼ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊽ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊾ EXISTING BRIMMINOUS CONCRETE DRIVE
 - ㊿ EXISTING BRIMMINOUS CONCRETE DRIVE

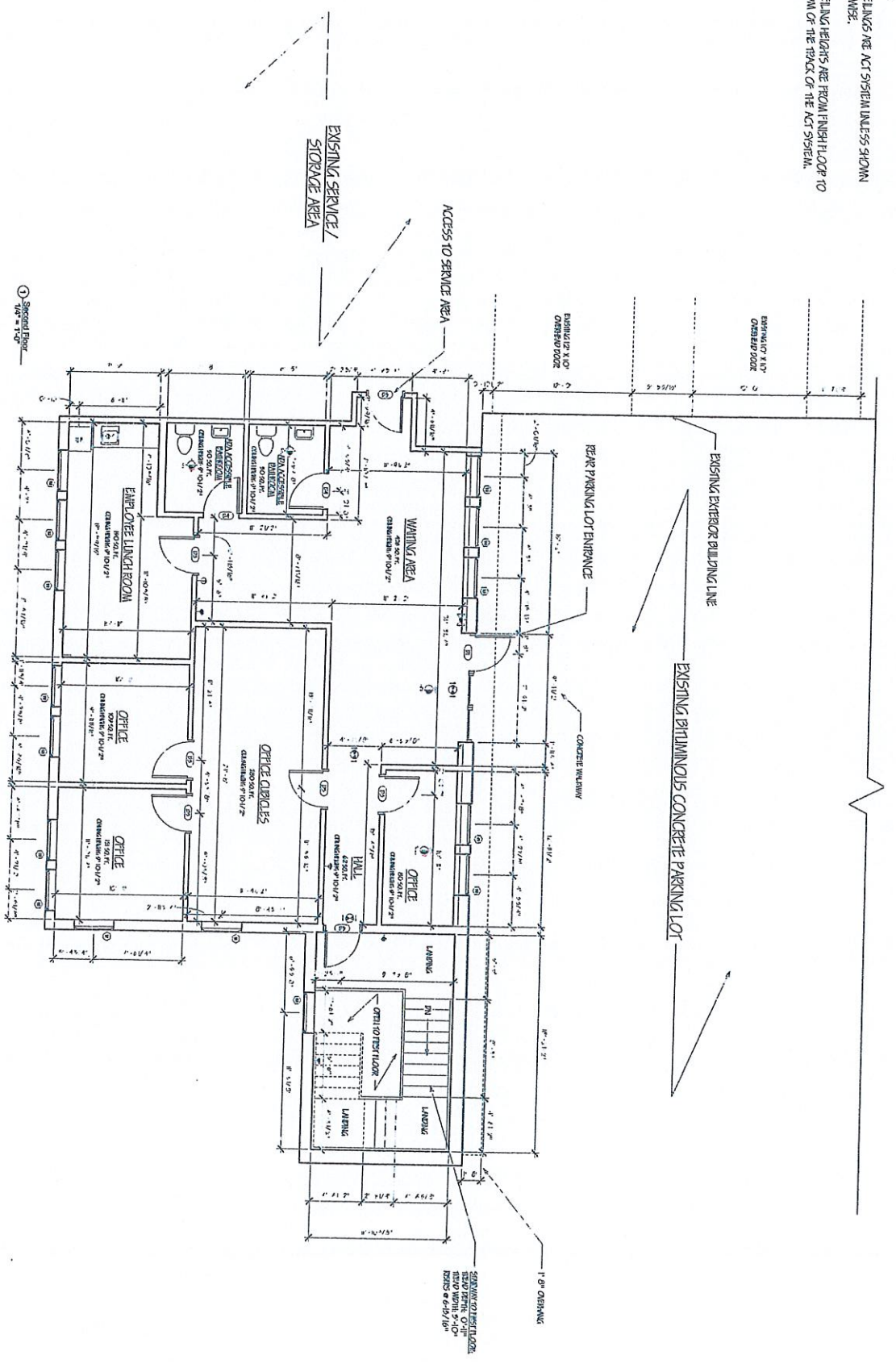
First Floor Plan	
Date	4/12/23
Drawn by	PLG
Checked by	MS
A-1	
SCALE: 1/4" = 1'-0"	

Existing Conditions Plan
 Prepared for
River Oak Academy of Early Learning

795 Straits Turnpike, LLC.
 56 Echo Lake Road
 Watertown, CT 06795

795 Straits Turnpike
 Watertown, CT 06795

NOTES:
 A1. CEILING JOIST SYSTEM UNLESS SHOWN OTHERWISE.
 A2. CEILING HEIGHTS ARE FROM FINISH FLOOR TO BOTTOM OF THE BACK OF THE AC SYSTEM.



LEGEND:

- DISCONTINUATION OF WORK
- EXISTING WALL
- EXISTING CEILING JOIST
- EXISTING CEILING JOIST WITH AC SYSTEM
- WALL TO BE ADDED
- WALL TO BE REMOVED
- WALL TO BE REPOSITIONED
- WALL TO BE REPOSITIONED WITH AC SYSTEM
- WALL TO BE REPOSITIONED WITH AC SYSTEM AND NEW JOIST
- FLOOR JOIST TO BE ADDED
- FLOOR JOIST TO BE REMOVED
- FLOOR JOIST TO BE REPOSITIONED
- FLOOR JOIST TO BE REPOSITIONED WITH AC SYSTEM
- FLOOR JOIST TO BE REPOSITIONED WITH AC SYSTEM AND NEW JOIST

Second Floor Plan	
Date	4/12/23
Drawn by	RJS
Checked by	MS
A-2	
SCALE: 1/4" = 1'-0"	

Existing Conditions Plan
 Prepared For
 River Oak Academy of Early Learning

795 Straits Turnpike, LLC.
 56 Echo Lake Road
 Watertown, CT 06795

795 Straits Turnpike
 Watertown, CT 06795

NOTES:

ALL CEILING ARE ACT SYSTEM UNLESS SHOWN OTHERWISE.

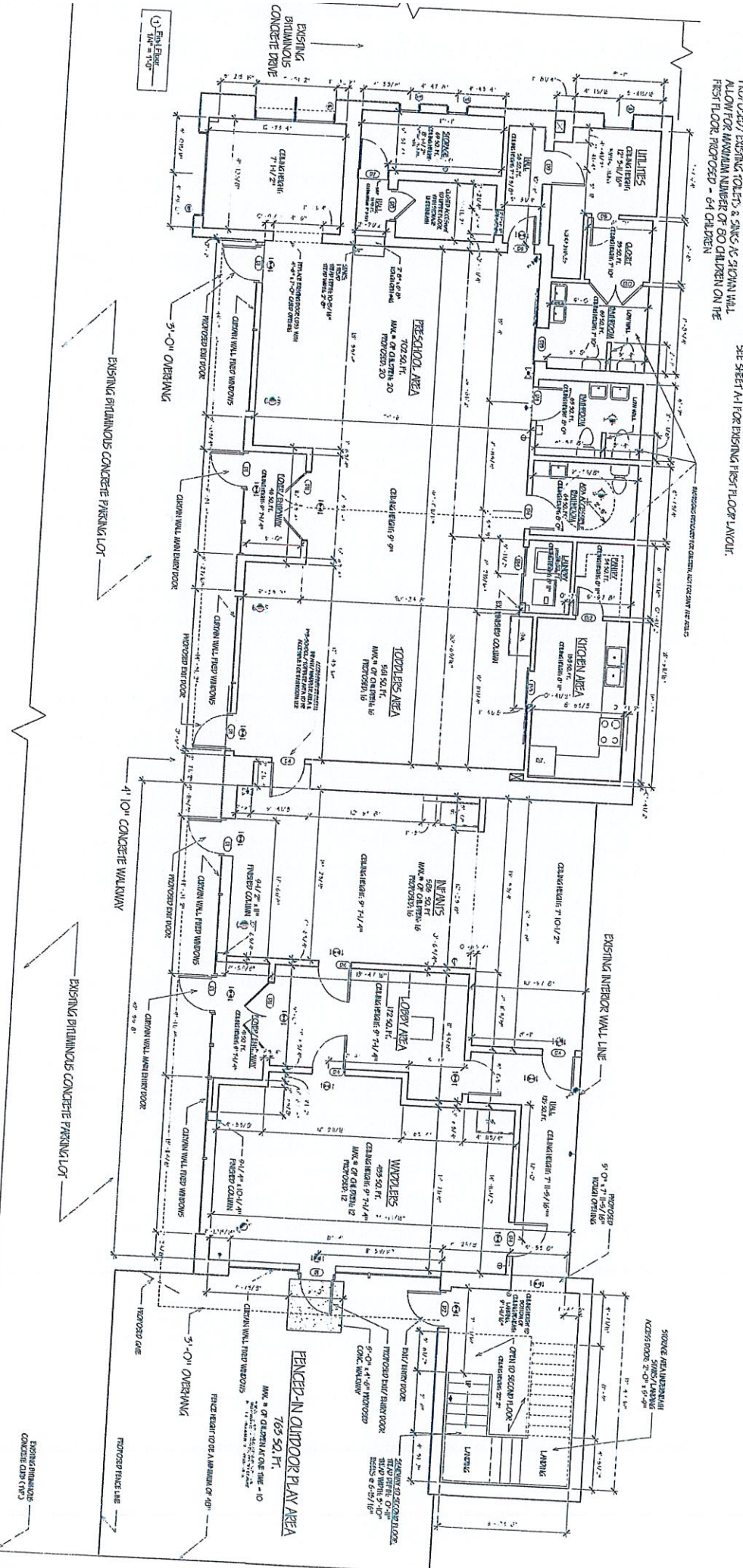
ALL CEILING HEADERS ARE FROM FINISH FLOOR TO BOTTOM OF THE TOP OF THE ACT SYSTEM. (WHERE CEILING ARE NOT ACT SYSTEM HEIGHT IS FINISH FLOOR TO FINISHED CEILING.)

PROPOSED EXISTING TOILETS & SINKS AS SHOWN WILL ALLOW FOR MAXIMUM NUMBER OF 80 CHILDREN ON THE FIRST FLOOR. PROPOSED - 64 CHILDREN.

SEE SHEET A-1 FOR EXISTING FIRST FLOOR LAYOUT.

ALL NEW WALLS TO BE 6-5/8" (1) HD PARTITION WALL OR 4-1/2" PARTITION WALL WOOD STUD (6" O.C. UNLESS SHOWN OTHERWISE).

ANY SPACE USED FOR SLEEPING, PROPOSED TO ACCEPT SMOKE DETECTORS FOR EARLY WAKING.



First Floor Plan	
Date	4/22/23
Drawn by	RJD
Checked by	MO
Scale	1/4" = 1'-0"

Proposed Daycare Center/Preschool Plan
 Prepared for:
River Oak Academy of Early Learning

795 Straits Turnpike, LLC.
 66 Echo Lake Road
 Watertown, CT 06795

795 Straits Turnpike
 Watertown, CT 06795

- SYMBOLS:**
- 1-1 FINISH FLOOR
 - 1-1 CH. CHALK BOARD
 - 1-1 WALL BOARD THE ENTIRE SIDE
 - 1-1 CHALK BOARD
 - 1-1 CABINET CORNER
 - 1-1 WALL BOARD
 - 1-1 EXHAUST LIGHT
 - 1-1 HANGING
 - 1-1 WIPONING
 - 1-1 FLOOR PAD
 - 1-1 WIPONING

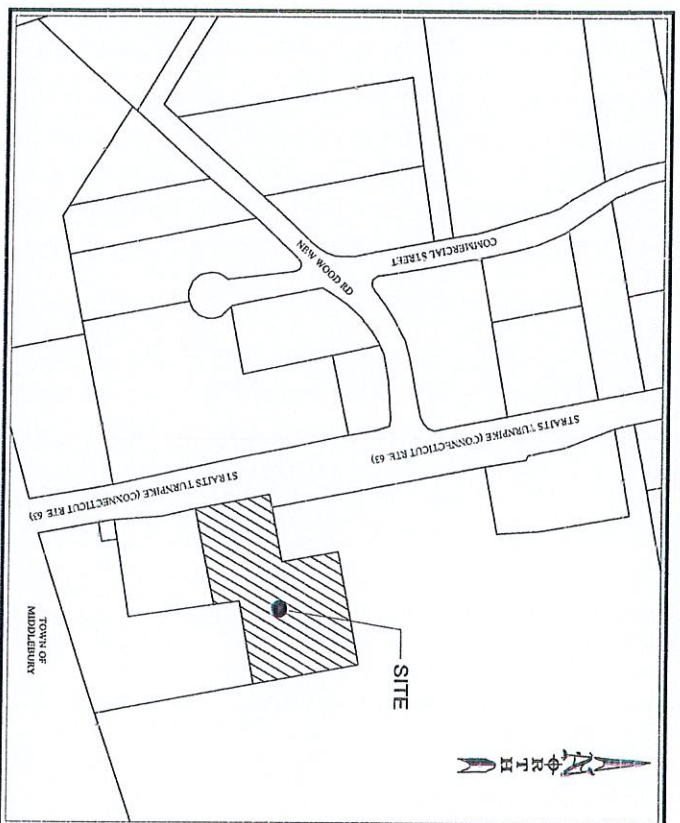
GENERAL

PROPOSED DEVELOPMENT PLAN

PHASE 1 - DAYCARE CENTER

795 STRAITS TURNPIKE (RTE. 63) WATERTOWN, CONNECTICUT

APRIL 18, 2023



ORIGINAL APPLICANT/DEVELOPER:
796 STRAITS TURNPIKE, LLC
56 ECHO LAKE RD.
WATERTOWN, CT 06795

OWNER OF RECORD:
796 STRAITS TURNPIKE, LLC
56 ECHO LAKE RD.
WATERTOWN, CT 06795

ENGINEER:
DESIGN DEVELOPMENT GROUP
458 EAST MAIN STREET
MERIDEN, CT

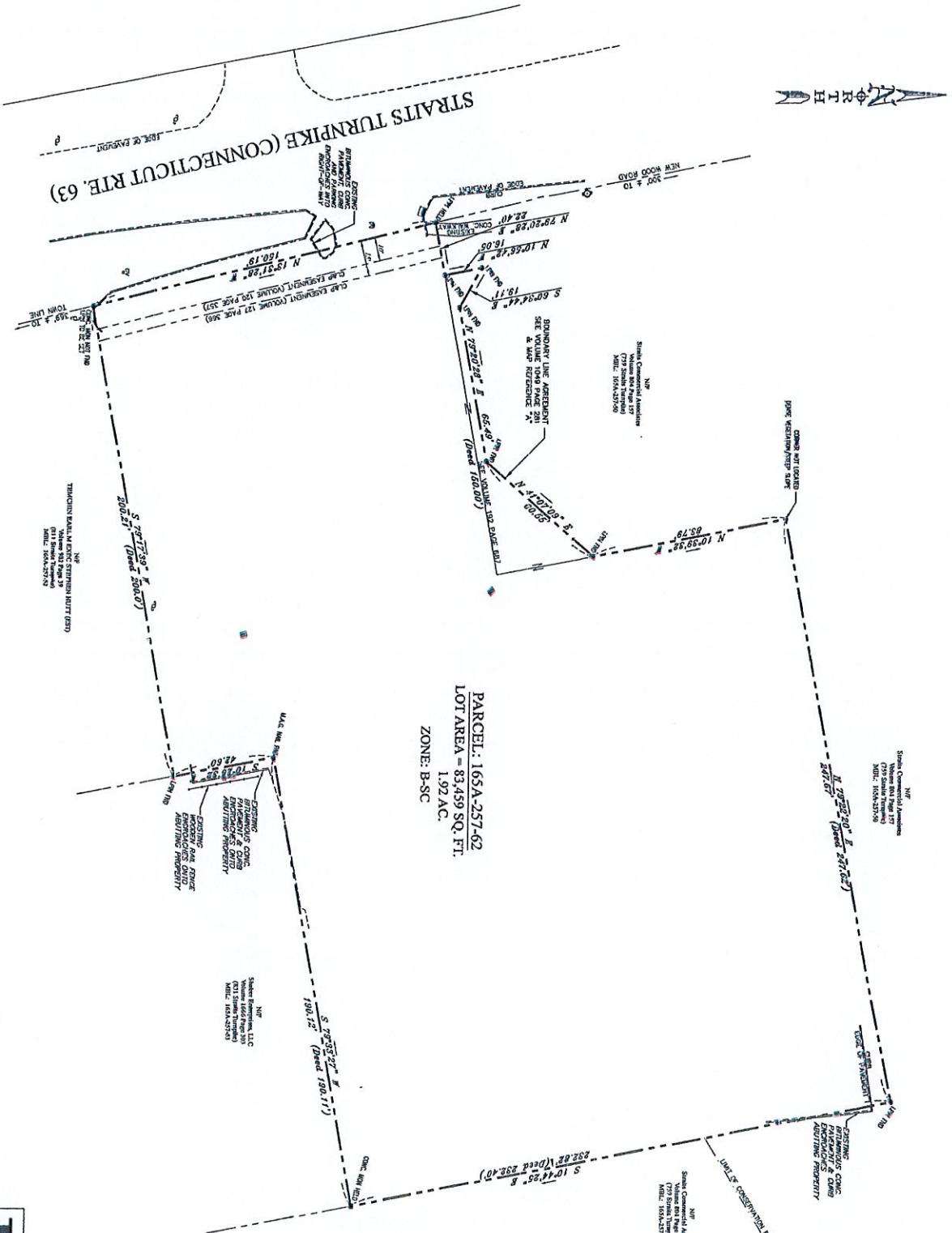
SURVEYOR:
DESIGN DEVELOPMENT GROUP
458 EAST MAIN STREET,
MERIDEN, CT

TABLE OF CONTENTS:

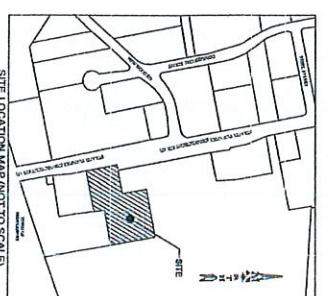
SHEET NUMBER	DESCRIPTION
1	PROPERTY SURVEY
2	EXISTING CONDITIONS
3	PROPOSED SITE PLAN @ FIRST FLOOR LEVEL
4	PROPOSED SITE PLAN @ SECOND FLOOR LEVEL



CONSULTING ENGINEERS - LAND SURVEYORS
MERIDEN, CT. 458 EAST MAIN STREET (203) 235-9809



PARCEL: 165A-257-62
 LOT AREA = 83,459 SQ. FT.
 ZONE: B-SC



- MAP NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES AND THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT HAVING AN EFFECTIVE DATE OF OCTOBER, 2018.
 2. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A PRIVATE SURVEY.
 3. BOUNDARY DETERMINATION: "DEPENDENT RESURVEY". THIS SURVEY IS SUBJECT TO SUCH FACTS AS AN "INDEPENDENT RESURVEY" MAY DISCLOSE. BOUNDARY LINES ARE PER REFERENCE TO NOTE #8 (A) HEREON.
 4. THE HORIZONTAL BASELINE CONFORMS TO A CLASS A-2 ACCURACY.
 5. THE NORTH ARROW AND BEARINGS ARE BASED UPON MAP REFERENCE A, MAP REFERENCE A.
 6. PROPERTY DEPICTED SUBJECT TO ALL VARIANCES AND EASEMENTS SHOWN ON MAP REFERENCE A.
 7. UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPS SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES APPROXIMATE IN NATURE. ADDITIONALLY OTHER SUCH FEATURES SHOWN ON THE SITE, THE EXISTENCE WHICH IS UNKNOWN TO DESIGN DEVELOPER OR GROUP INC. ALL CONTRACTORS ARE REQUIRED TO CONTACT AND OR STAKEOUT ANY UTILITY PRIOR TO ANY EXCAVATION.
 8. MAP REFERENCES:
 - A. MAP ENTITLED, "LAND TITLE SURVEY FOR PREMIER REALTY WATERVIEW LLC, THE STRAITS TURNPIKE ROUTE 63, WATERVIEW, CONNECTICUT, SCALE 1" = 20', DATED 08-15-2018, PREPARED BY COMPASS ENGINEERING CONSULTANTS, LLC.
 - B. MAP ENTITLED, "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF WATERVIEW, STRAITS TURNPIKE, FROM THE RAILROAD, ROUTE NO. 63, NUMBER 10-10, SHEETS 1 AND 2 OF 4, DATED MAR. 31, 1943."

LEGEND:

●	IRON PIN (STAIN)	A	5' CONT.
○	IRON PIN (STAIN)	○	10' LIGHT P.
○	BOUNDARY MARKING	○	20' UTILITY
○	DRAINAGE MARKING	○	30' WATER V.
○	CODE OF ROAD (CHURCH)	○	42' GAS VAL.
○	CODE OF WALK	○	48' GAS MET.
○	WOODEN WALK FENCE	○	5' CATCH BASIN
○		○	5' ELEC. MET.
○		○	5' ELEC. W.

PROPERTY SURVEY

PREPARED FOR:
 795 Straits Turnpike LLC
 WATERVIEW, CT 06427

DATE: 11-20-2023

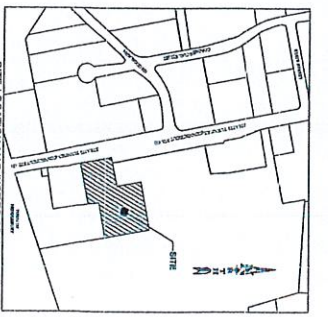
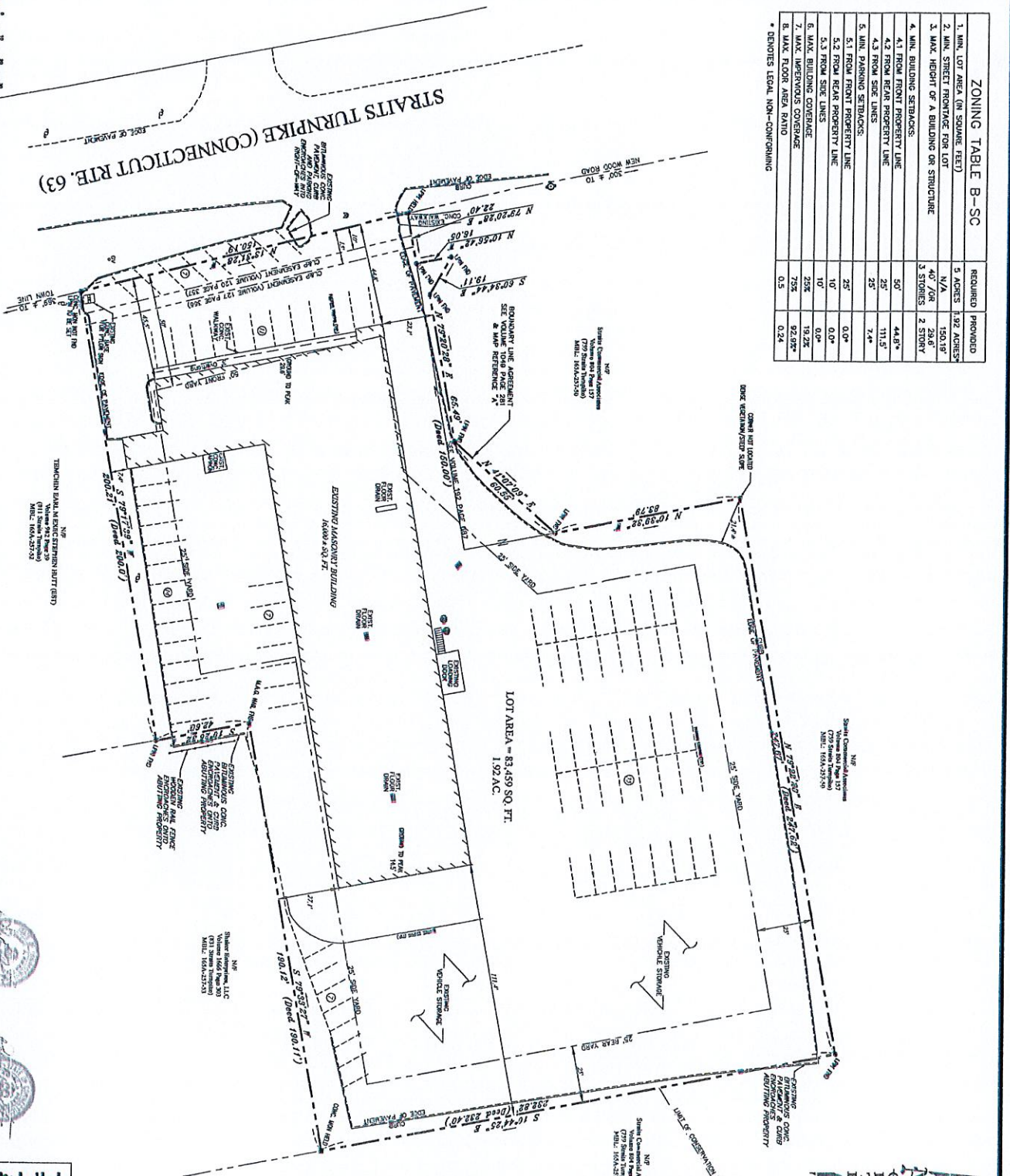
SCALE: 1" = 20'

CONSOLE ENGINEERING - LAND SURVEYING
 WATERVIEW, CT 06427



ZONING TABLE B-3C	
1. MIN. LOT AREA (IN SQUARE FEET)	REQUIRED: 5 ACRES PROVIDED: 1.92 ACRES*
2. MIN. STREET FRONTAGE FOR LOT	N/A
3. MAX. HEIGHT OF A BUILDING OR STRUCTURE	40' / 0.8 2.8:1 3 STORIES
4. MIN. BUILDING SETBACKS:	
4.1 FROM FRONT PROPERTY LINE	50'
4.2 FROM REAR PROPERTY LINE	25'
4.3 FROM SIDE LINES	25'
5. MIN. PARKING SETBACKS:	
5.1 FROM FRONT PROPERTY LINE	25'
5.2 FROM REAR PROPERTY LINE	10'
5.3 FROM SIDE LINES	10'
6. MAX. BUILDING COVERAGE	25%
7. MAX. IMPERVIOUS COVERAGE	75%
8. MAX. FLOOR AREA RATIO	0.5

* DENOTES LEGAL NON-COMPLYING



- MAP NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REQUIREMENTS OF THE REGISTERED PROFESSIONAL ENGINEERS SECTIONS 20-208a-1 THROUGH 20-208b-6, CONN. GEN. STAT. AND THE REGISTERED PROFESSIONAL SURVEYORS SECTIONS 20-208a-1 THROUGH 20-208b-6, CONN. GEN. STAT. HAVING AN EFFECTIVE DATE OF OCTOBER 26, 2018.
 2. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DERIVED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF AN IMPROVED LOCATION SURVEY.
 3. THE HORIZONTAL BASELINE CONFORMS TO A CLASS A2 ACCURACY.
 4. THE VERTICAL BASELINE CONFORMS TO A CLASS V2A ACCURACY.
 5. THE NORTH-ARROW AND BEARINGS ARE BASED UPON MAP REFERENCE A.
 6. PROPERTY DERIVED SUBJECT TO ALL VARIANCES AND EASEMENTS SHOWN IN MAP REFERENCE A.
 7. UNDERGROUND UTILITIES, STRUCTURES AND QUALITY LOCATIONS DERIVED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES APPROXIMATE IN NATURE. ADDITIONAL UTILITIES AND QUALITY LOCATIONS NOT SHOWN ON THE SITE, THE EXISTENCE WHICH IS UNKNOWN TO DESIGN DEVELOPMENT GROUP, INC. ALL CONTRACTORS ARE REQUIRED TO CONTACT THE DESIGN DEVELOPMENT GROUP, INC. PRIOR TO ANY EXCAVATION.
 8. ANY UTILITY PRIOR TO ANY EXCAVATION.
- 7. MAP REFERENCES:**
1. A MAP ENTITLED, "LAND TITLE SURVEY FOR PREMIER REALTY WATERLOO, LLC, 795 STRAITS TURNPIKE ROUTE 63, WATERLOO, CONNECTICUT, SCALE 1"=20", DATED 08-15-2012, PREPARED BY COMPASS ENGINEERING GROUP, LLC.
 2. A MAP ENTITLED, "CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT-OF-WAY MAP OF WATERLOO, STRAITS TURNPIKE, FROM THE WATERLOO TOWN AND WATERLOO TOWNSHIP, WATERLOO, CONNECTICUT, RD. ROUTE NO. 63, NUMBER 152-10, SHEETS 1 AND 2 OF 4, DATED 04-01-1941."

LEGEND:

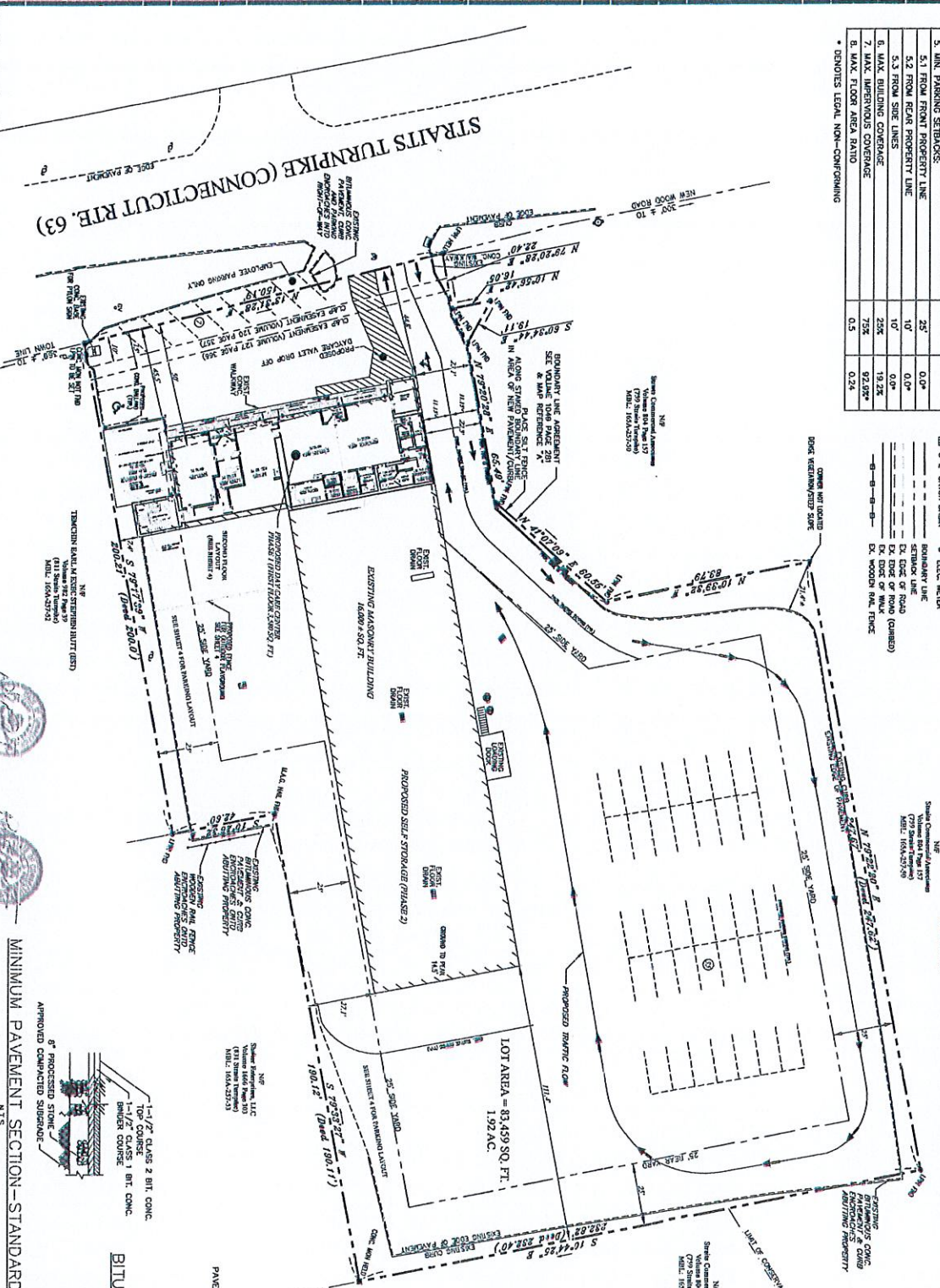
—●— (BOUNDARY LINE)	○ (IRON PIN SET)	○ (LIGHT POLE)
—●— (BOUNDARY LINE)	○ (MONUMENT (GROUND))	○ (GUY ANCHOR)
—●— (BOUNDARY LINE)	○ (DRAINAGE MANHOLE)	○ (FUEL UTILITY POLE)
—●— (BOUNDARY LINE)	○ (CONCRETE MANHOLE)	○ (WATER VALVE)
—●— (BOUNDARY LINE)	○ (WOODEN MANHOLE)	○ (WATER METER)
—●— (BOUNDARY LINE)	○ (HULL MANHOLE)	○ (GAS VALVE)
—●— (BOUNDARY LINE)	○ ("C" DRIVE BUSH)	○ (GAS METER)
—●— (BOUNDARY LINE)	○ ("C" CATCH BASIN)	○ (ELEC. METER)

EXISTING CONDITIONS PLAN

PREPARED FOR:
795 Straits Turnpike LLC
WATERLOO, CONNECTICUT

DATE: APRIL 12, 2022
SCALE: 1" = 20'
SHEET 2 OF 2

DESIGN DEVELOPMENT
CONSULTING ENGINEERS - LAND SURVEYORS
498 EAST MAIN STREET (303) 233-8639



ZONING TABLE B-SC

REQUIRED	PROVIDED
1. MIN. LOT AREA (IN SQUARE FEET)	8,192 SQUARE FEET
2. MAX. STREET FRONTAGE FOR LOT	N/A
3. MAX. HEIGHT OF A BUILDING OR STRUCTURE	3 STORIES
4. MIN. BUILDING SETBACKS:	
4.1 FROM FRONT PROPERTY LINE	50'
4.2 FROM REAR PROPERTY LINE	25'
4.3 FROM SIDE PROPERTY LINE	25'
5. MIN. PARKING SETBACKS:	
5.1 FROM FRONT PROPERTY LINE	25'
5.2 FROM REAR PROPERTY LINE	10'
6. MAX. UNRECOVERED COVERAGE	25%
7. MAX. FLOOR AREA RATIO	7.5%
	0.24

LEGEND:

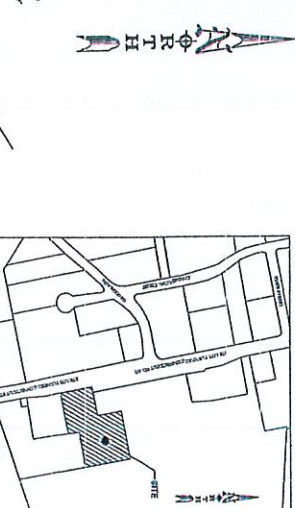
- FROM PW (ROUND)
- FROM PW SET
- BOUNDRY (ROUND)
- SWATHER MANHOLE
- ILLC. MANHOLE
- T.O. CATCH BASIN
- "C" CATCH BASIN
- ILLC. METER
- S&P
- LIGHT POLE
- GAS ANCHOR
- WATER VALVE
- GAS VALVE
- ILLC. METER
- S&P

ADDITIONAL NOTES:

- EXISTING TOPOGRAPHY TO REMAIN, WHEN INCREASING DRIVE ALONG THE LEFTSIDE OF THE BUILDING THE EXISTING SLOPE SHALL REMAIN THE SAME.
- SEE DETAILS PROVIDED FOR BITUMINOUS CONCRETE PAVEMENT & CURB INSTALLATION REQUIREMENTS.

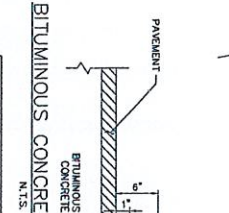
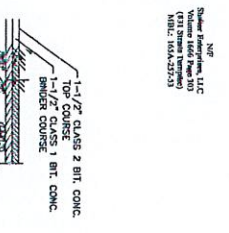
STANDARDIZATION AND PROVISION CONTROL NOTES:

- LAND DISTINGUISHING SHALL BE SET AT A MINIMUM AND THE REPRESENTATION OF THE DISTINGUISHING SHALL BE SET AT A MINIMUM AND THE REPRESENTATION OF THE DISTINGUISHING SHALL BE SET AT A MINIMUM AND THE REPRESENTATION OF THE DISTINGUISHING SHALL BE SET AT A MINIMUM.
- SEE DETAILS PROVIDED FOR BITUMINOUS CONCRETE PAVEMENT & CURB INSTALLATION REQUIREMENTS.
- SEE DETAILS PROVIDED FOR BITUMINOUS CONCRETE PAVEMENT & CURB INSTALLATION REQUIREMENTS.



MAP NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-200-1 THROUGH 20-200-28 AND THE MINIMUM STANDARDS FOR SURVEYING AND MAP MAKING IN THE STATE OF CONNECTICUT PUBLISHED IN EFFECTIVE DATE OF 01/01/2018.
- THE TYPE OF SURVEY PERFORMED AND THE MARKED FEATURES DEPICTED ON THIS MAP SHALL BE IDENTICAL TO THE REQUIREMENTS OF AN APPROVED LOCATION SURVEY.
- THE HORIZONTAL BASELINE CONFORMS TO A CLASS AA ACCURACY.
- THE VERTICAL BASELINE CONFORMS TO A CLASS V&A ACCURACY.
- PROPERTY DEPICTED SUBJECT TO ALL VARIANCES AND EASEMENTS SHOWN THEREON.
- UNDERSIGNED UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED ON THIS MAP ARE BASED ON RECORD DRAWINGS AND FIELD SURVEYS SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CORROBORATED BY FIELD SURVEYS AND/OR OTHER SUFFICIENT FIELD DATA. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES AND FACILITIES PRIOR TO CONSTRUCTION.
- MAP REFERENCES:
 - A MAP ENTITLED, "LAND AND TITLE SURVEY FOR PREPARED REALTY WATERSTON, LLC, 795 STRAITS TURNPIKE (ROUTE 63), WATERSTOWN, CONNECTICUT, SCALE 1" = 20', DATED 08-15-2013, PREPARED BY COMPASS ENGINEERING GROUP, LLC.
 - A MAP ENTITLED, "CONNECTICUT STATE HIGHWAY DEPARTMENT, RIGHT OF WAY MAP, TOWN OF WATERSTOWN, STRAITS TURNPIKE, FROM THE MODULARITY TOWN LINE NORTHERLY TO THE WATERSTOWN-WATERBURY TOWN LINE, ROUTE NO. 63, NUMBER 123-10, SHEETS 1 AND 2 OF 4, DATED MAR. 31, 1942."
 - MAP REFERENCES:



MINIMUM PAVEMENT SECTION - STANDARD

(SEE D.O.I. FORM 818 AS APPLICABLE)

OR PROPOSED STONE

1-1/2" CLASS 3 BIT. CONC.

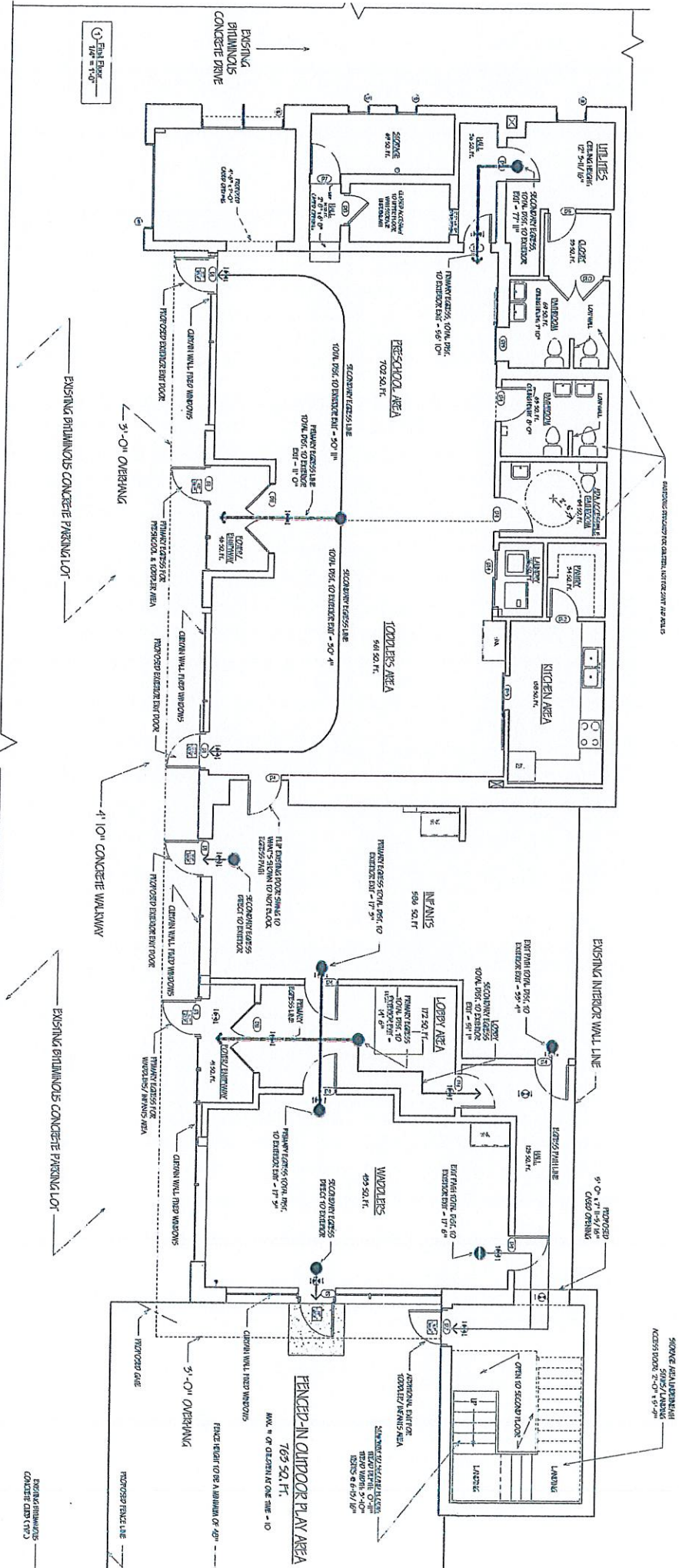
1-1/2" CLASS 1 BIT. CONC.

4" COMPACTED SUBGRADE

COMPASS ENGINEERING GROUP
 795 Straits Turnpike, CT 06183
 Phone: 860-271-2737
 Fax: 860-271-2738

SITE PLAN
 PROPOSED DRIVEWAY FIRST FLOOR L
 795 Straits Turnpike, CT 06183
 DATE: 08-15-2018
 SCALE: 1" = 20'

NOTES:
 PROPOSED / EXISTING TOILETS & SINKS AS SHOWN WILL
 ALLOW FOR MAXIMUM NUMBER OF 24 CHILDREN ON THE
 FIRST FLOOR. PROPOSED - 60 CHILDREN
 ALL NEW WALLS TO BE 6'-3" / 4" (HARD) PERIMETER WALL
 OR 4'-4" Z-PARTITION WALL WOOD STUD 16" O.C. UNLESS
 SHOWN OTHERWISE.
 ANY SPACE USED FOR SLEEPING PURPOSES TO ACCEPT SHORE
 DEFLECTIONS FOR EARLY WAKING.
 SEE SHEET A-1 FOR EXISTING FIRST FLOOR LAYOUT & SHEET A-5
 FOR DETAILED PROPOSED FIRST FLOOR PLAN.



- LEGEND:**
- ① FINISH LINE 1/4" = 1'-0"
 - ② ROOM TAG
 - ③ WINDOW TAG
 - ④ FINISH LINE
 - ⑤ DIMENSION
 - ⑥ OCCUPANT CONCERN/INSTRUCTIONS
 - ⑦ DOOR WITH CLOSING & FORCE
 - ⑧ OPEN AREA & FLOOR ALLOWED
 - FINISH LINE
 - ROOM TAGS LINE
 - SECONDARY TAGS LINE

First Floor Egress Plan		Proposed Daycare Center/Preschool Plan		795 Straits Turnpike, LLC.		795 Straits Turnpike	
Date	4/12/23	SCALE:	1/4" = 1'-0"	Prepared For	56 Echo Lake Road	Watertown, CT 06795	Watertown, CT 06795
Drawn by	RJC						
Checked by	MJS						



TOWN OF WATERTOWN CONNECTICUT

51 Depot Square Business Center

Suite 502 • Watertown, Connecticut 06795-2200

Planning and Zoning, Zoning Board of Appeals, Conservation Commission/Inland Wetland Agency

Telephone: (860) 945-5266

Fax: (860) 945-2704

SITE PLAN APPROVAL/SPECIAL PERMIT

Name and mailing address of Applicant Krista Palomina 856 Echo Lake Rd Watertown, Ct 06795 Phone: (800) 417-6481	Location of Property 856 Echo Lake Rd Watertown, Ct 06795
Name and address of Owner Nicole Conboy 856 Echo Lake Rd Watertown, Ct 06795	Zone IR-80 non-conforming? Map 103 Block 96 Lot 117

Description of Existing Use/Property

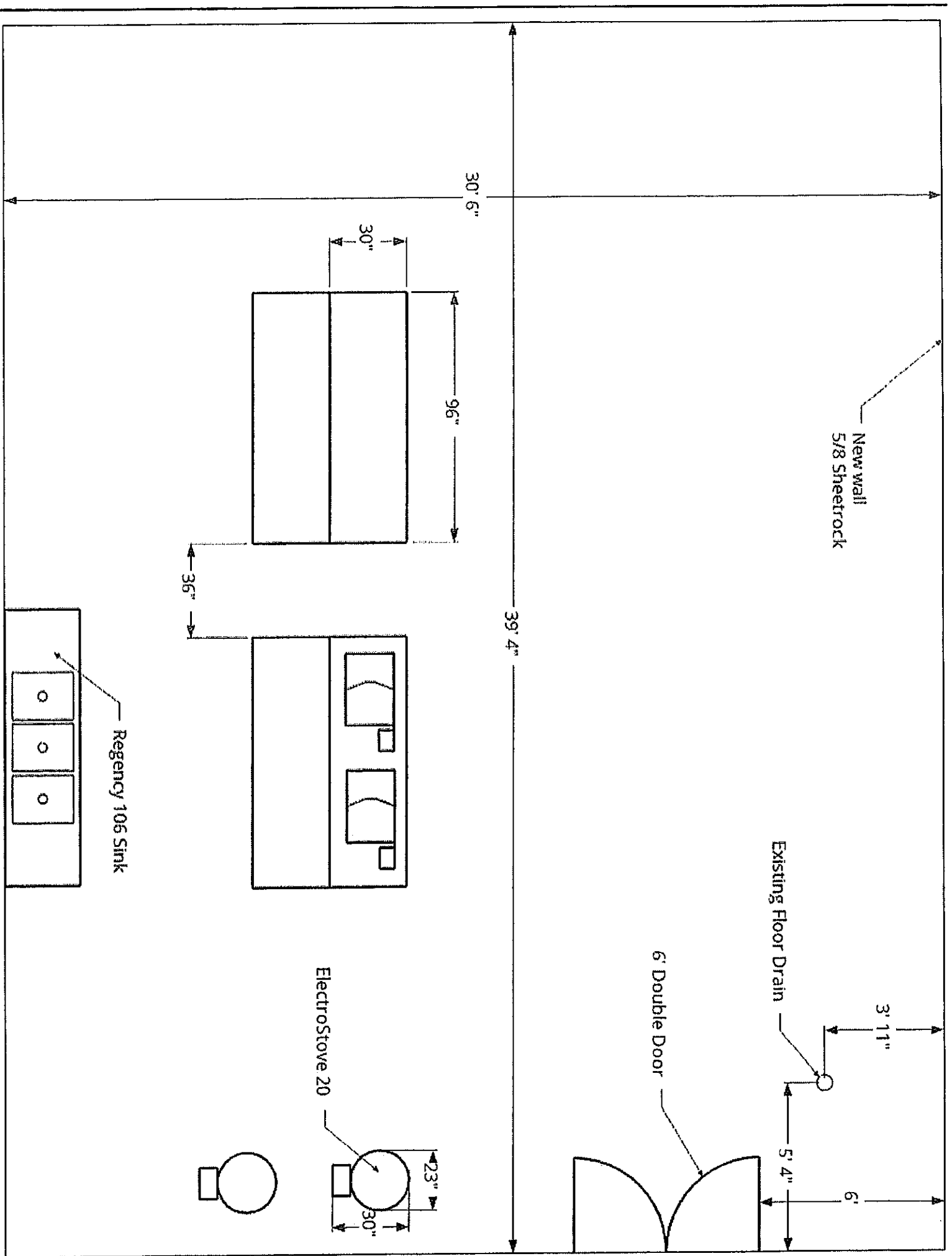
Type of Use	Cannabis producer
Size of property	10 acres
Buildings	1 - 100,000 sq. ft.
Parking	179
other important features	
Signage(# of signs & square feet)	1 - 6,760 sq. ft.

Description of Proposed Use

Uses	KITCHEN
Buildings	1 - 100,000 sq. ft.
Parking	179
Signage(# of signs & square feet)	1 - 6,760 sq. ft.
Number of Employees	89

Where applicable, number of:

Hotel/Motel Rooms		Convalescent Home	
Hospital/Clinic Beds		Occupants of Assembly Hall	
Water & Sewer to be provided by	TOWN of Watertown		
Professional Engineer/Surveyor name and address	Date Submitted	Date Rec'd	PH Date
Phone: ()	Project Number:	Fee:	
Signature of Applicant	Date	Signature of Owner	Date
Krista Palomina	3-29-2023	Nicole W Conboy	3-29-2023





March 30, 2023

Carol Allen
Planning & Zoning Commission
61 Echo Lake Rd.
Watertown, CT 06795

Carol,
Attached please find our modification to our site plan/special permit form and a basic plan for the kitchen instillation.

As previously discussed, we are looking to get on next week's agenda. We are expecting the bid/proposal from the contractors early next week and I will submit to you so you may calculate the fees.

I want to thank you and Mark for your assistance in getting the kitchen off the ground at Theraplant. I look forward to hearing from Mark regarding the meeting with the department heads.

Please let me know if you need anything further from me.

Thank you,

A handwritten signature in cursive script that reads "Krista Palomba".

Krista Palomba
Compliance Manager
Theraplant LLC

Project Modification
2023

THE LEDGES AT ECHO LAKE

243 Echo Lake Road
Watertown CT 06795

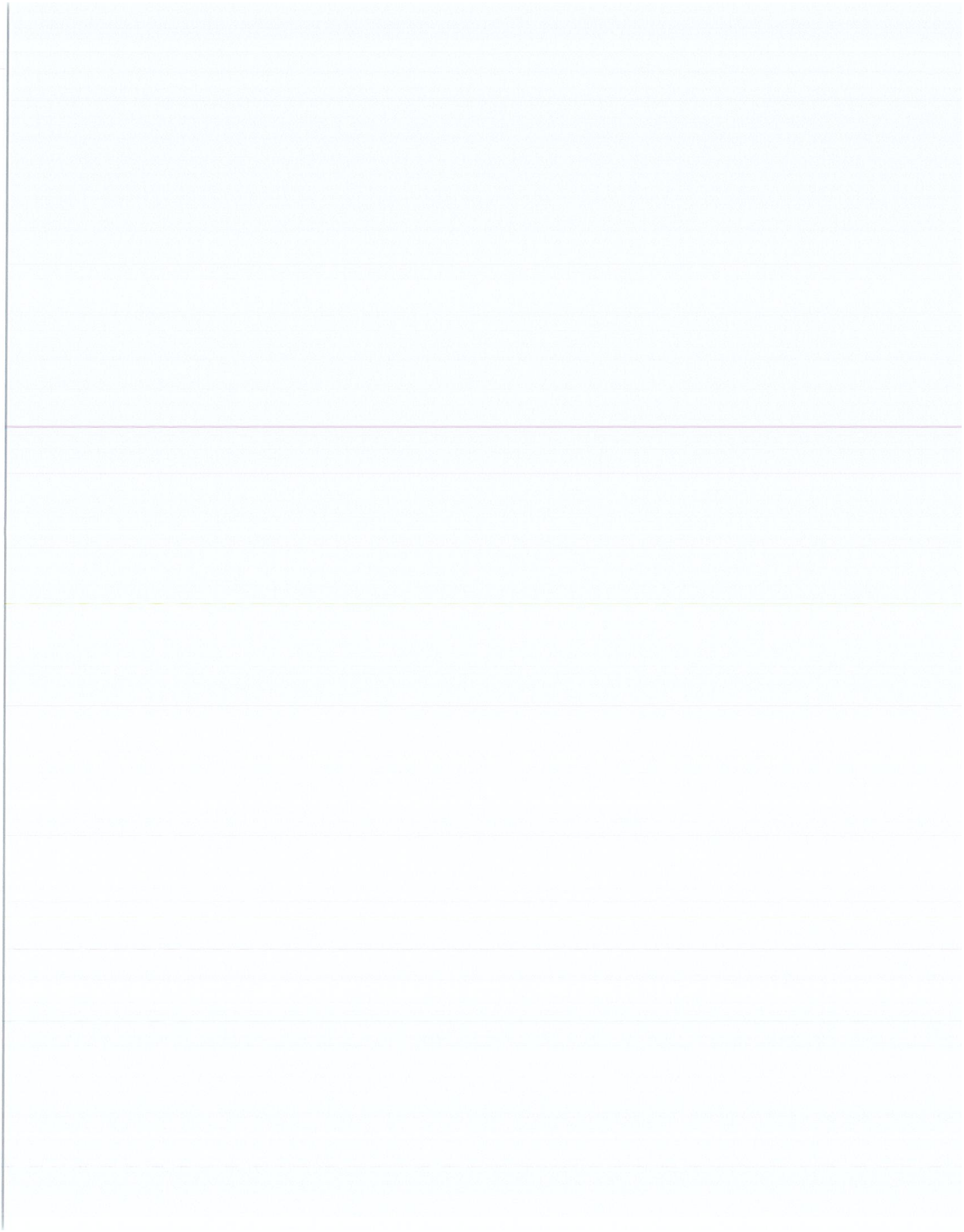


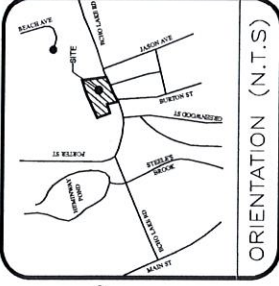
TABLE OF CONTENTS

CURRENT APPROVED SITE PLAN

PROPOSED MODIFICATION SITE PLAN

PROPOSED 1- & 2-Unit Building

CURRENT APPROVED 3 Bedroom (Under Construction)



ORIENTATION (N.T.S.)

LOT COVERAGE CALCULATION:
 20 THUNDERBOLT UNITS / 770 S.F. = 20,300 S.F.
 140,87 S.F. / 20,300 S.F. = 6.9%

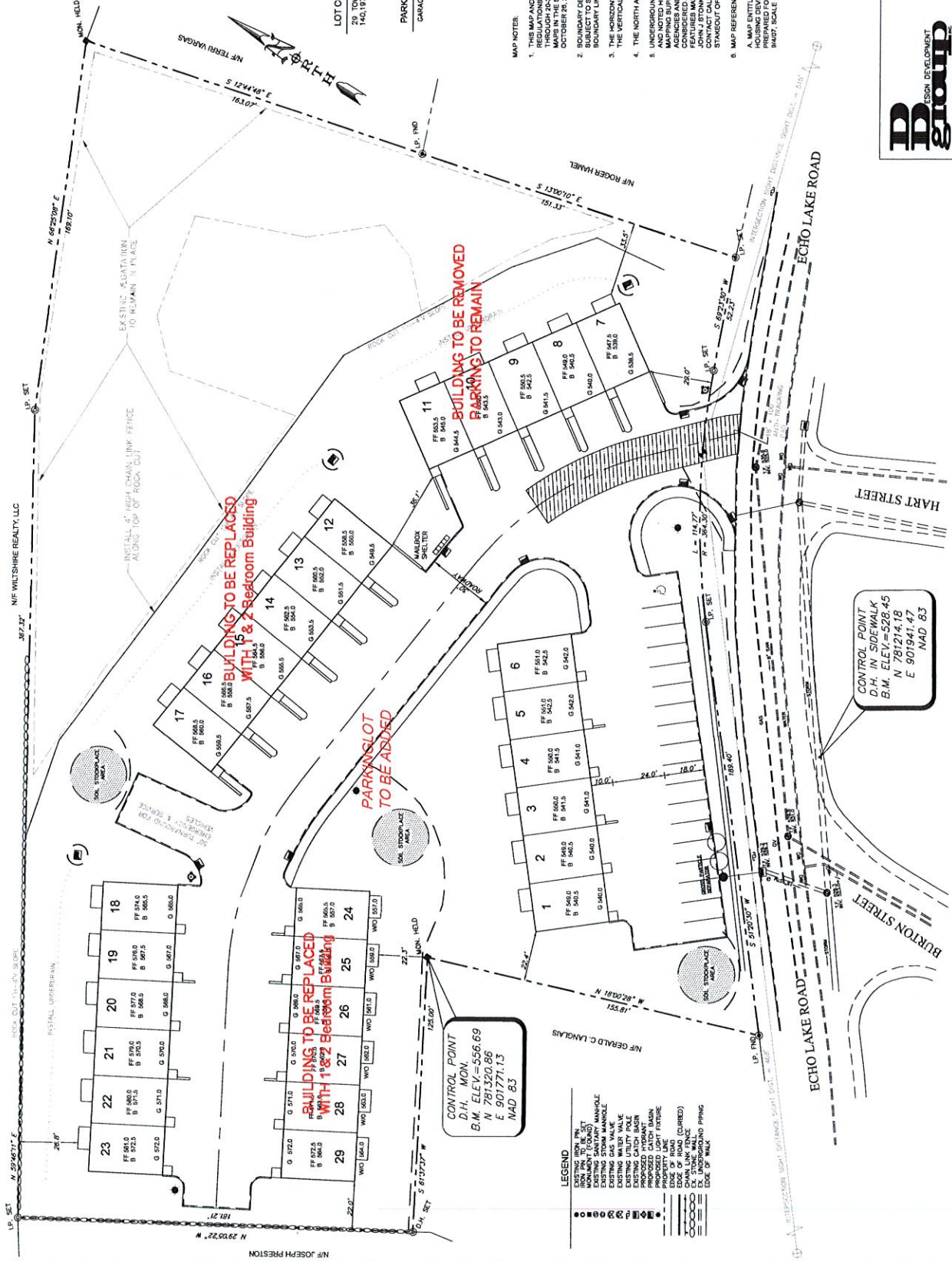
PARKING REQUIREMENTS:
 GARAGE SPACES (2 PER UNIT) X 20 = 58
 MINIMUM REQUIRED BY TOWN OF WATERBURY ZONING REGULATIONS
 TOTAL = 74 SPACES
 HANDICAP SPACES = 1
 MINIMUM REQUIRED BY TOWN OF WATERBURY ZONING REGULATIONS

- MAP NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENDAS SECTIONS 36A-300-1 THROUGH 36A-300-10. THIS MAP IS A PRELIMINARY MAP AND IS NOT TO BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PREPARED. THE DATE OF THIS MAP IS OCTOBER 29, 2018.
 2. BOUNDARY DETERMINATION: "DEFENDANT REBURY/ET". THIS SURVEY IS A REBURY/ET SURVEY. THE BOUNDARY LINES ARE THE REFERENCE POINTS FOR THE SURVEY. THE HORIZONTAL BASELINE CONFORMS TO A CLASS 1/2 ACCURACY.
 3. THE HORIZONTAL BASELINE CONFORMS TO A CLASS 1/2 ACCURACY.
 4. THE NORTH ARROWS AND BEARINGS ARE BASED UPON MAP REFERENCE A.
 5. UNLESS INDICATED OTHERWISE, ALL DIMENSIONS AND LOCATIONS SPECIFIED AND NOTED HEREON, HAVE BEEN COMPILED, IN PART, FROM AERIAL PHOTOGRAPHS AND FIELD SURVEYS. THE DIMENSIONS AND LOCATIONS SPECIFIED HEREON ARE APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH IS UNKNOWN TO THE SURVEYOR. THE SURVEYOR DOES NOT WARRANT THE ACCURACY OF ANY CONTACT CALL-BEFORE-YOU-GO AT 1-800-922-4455 FOR LOCATION AND OR STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.
 6. MAP REFERENCE:

A. MAP ENTITLED, "SITE DEVELOPMENT PLAN, TOWN VIEW" AN AFFORDABLE HOUSING DEVELOPMENT, ECHO LAKE ROAD, WATERBURY, CONNECTICUT, MAP# 140,87 S.F. / 20,300 S.F., PREPARED BY LAND DATA ENGINEERS, INC., SCALE 1" = 20'.

DD DESIGN DEVELOPMENT
GROUND
 CONSULTING ENGINEERS - LAND SURVEYORS
 408 EAST MAIN STREET (203) 255-9599
 WATERBURY, CT 06702

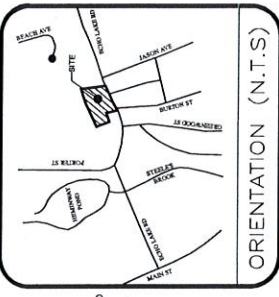
THIS **SITE DEVELOPMENT PLAN**
 WAS PREPARED FOR
Promper Properties LLC
 243 Echo Lake Road
 WATERBURY, CONNECTICUT 06702
 DATE: APRIL 12, 2023 SCALE: 1" = 20'



CONTROL POINT
 D.H. MON.
 B.M. ELEV. = 556.69
 N 781320.86
 E 901771.13
 NAD 83

CONTROL POINT
 D.H. IN SIDEWALK
 B.M. ELEV. = 528.45
 N 781214.18
 E 901941.47
 NAD 83

- LEGEND**
- EXISTING STORM MANHOLE
 - EXISTING STORM MANHOLE
 - EXISTING WATER WALK
 - EXISTING UTILITY POLE
 - EXISTING UTILITY POLE
 - PROPOSED INTERIOR
 - PROPOSED LIGHT FIXTURE
 - EDGE OF ROAD
 - EDGE OF SIDEWALK
 - EDGE OF WALK
 - EDGE OF WALK
 - EDGE OF WALK



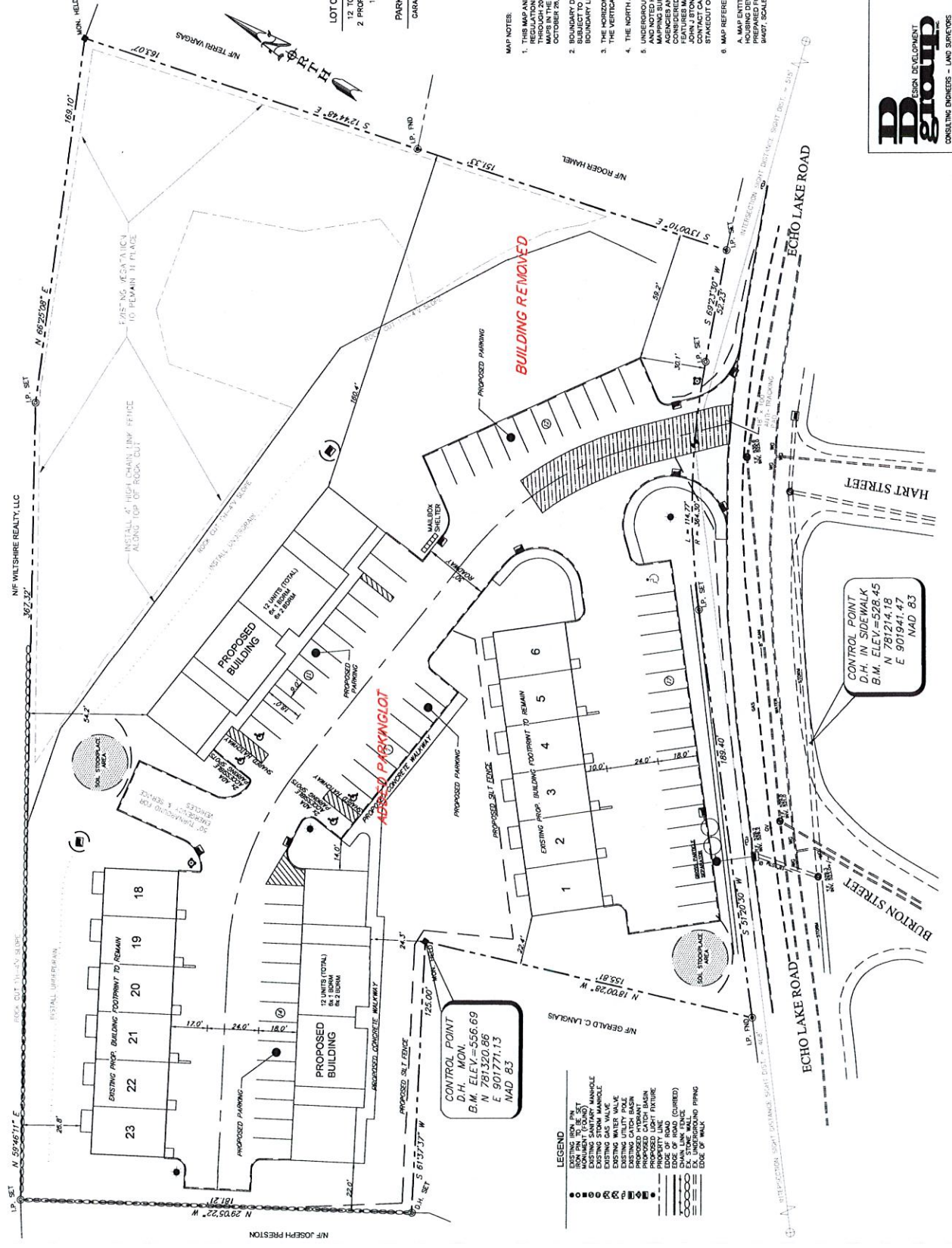
LOT COVERAGE CALCULATION:
 1. TOTAL AREAS UNITS = 400 S.F. = 8,400 S.F.
 2. PROPOSED BUILDINGS = 100 S.F. = 2,000 S.F.
 140,187 S.F. / 18,700 S.F. = 8.4%

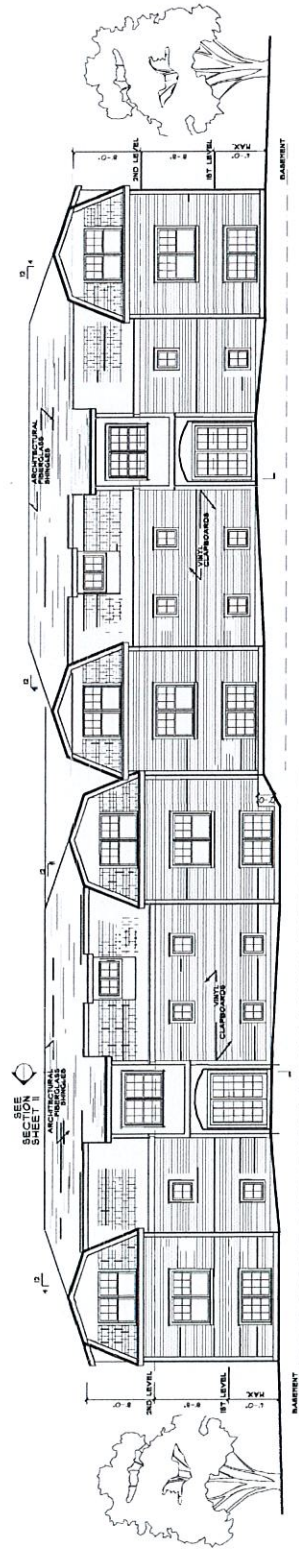
PARKING REQUIREMENTS
 GARAGE SPACES (2 PER UNIT) X 10 = 20
 TOTAL = 90 SPACES
 2.5/UNIT = 2.5
 MINIMUM REQUIRED BY TOWN OF WATERTOWN ZONING REGULATIONS = 5

MAP NOTES:

- THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-208-1, 20-208-2, 20-208-3, 20-208-4, 20-208-5, 20-208-6, 20-208-7, AND 20-208-8 IN THE STATE OF CONNECTICUT, HAVING AN EFFECTIVE DATE OF OCTOBER 29, 2018.
- BOUNDARY DETERMINATION "DEPENDENT REQUIREMENT": THIS SURVEY IS A "DEPENDENT REQUIREMENT" SURVEY. THE SURVEYOR HAS NOT DISCLOSED ANY BOUNDARY LINES ARE HEREOF. THE SURVEYOR HAS NOT DISCLOSED ANY BOUNDARY LINES ARE HEREOF.
- THE HORIZONTAL BASELINE CONFORMS TO A CLASS V & ACCURACY.
- THE VERTICAL BASELINE CONFORMS TO A CLASS V & ACCURACY.
- THE NORTH ARROW AND BEARINGS ARE BASED UPON MAP REFERENCE. A. UNLESS NOTED OTHERWISE, THE NORTH ARROW AND BEARINGS ARE DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORDS AND MAPPING SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES. THE SURVEYOR HAS NOT CONDUCTED A FIELD CHECK OF SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE WHICH IS UNKNOWN TO THE SURVEYOR HAS BEEN INDICATED BY A DASHED LINE. CONTACT CALLED-BEFORE-YOU-GO AT 783-922-4465 FOR LOCATION AND ON-STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.
- MAP REFERENCE:
- A. MAP ENTITLED, "SITE DEVELOPMENT PLAN, TOWN VIEW", AN AFFIDAVIT OF SURVEYING DEVELOPMENT, ECHO LAKE ROAD, WATERTOWN, CONNECTICUT, DATED APRIL 15, 2022, BY SURVEYOR JAMES J. HARRINGTON, REGISTERED PROFESSIONAL SURVEYOR, SCALE 1" = 20'.

SITE MODIFICATION PLAN
 for
Premiere Properties LLC
 244 Echo Lake Road, WATERTOWN, CONNECTICUT
 DATE: APRIL 15, 2022
 SCALE: 1" = 20'
 SHEET #

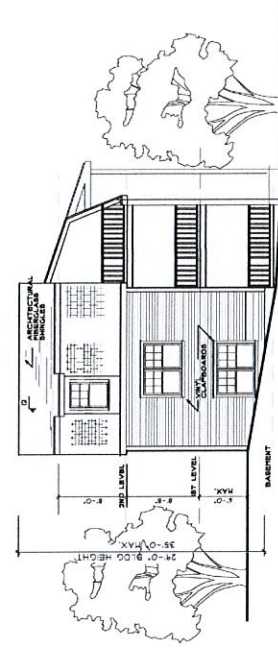




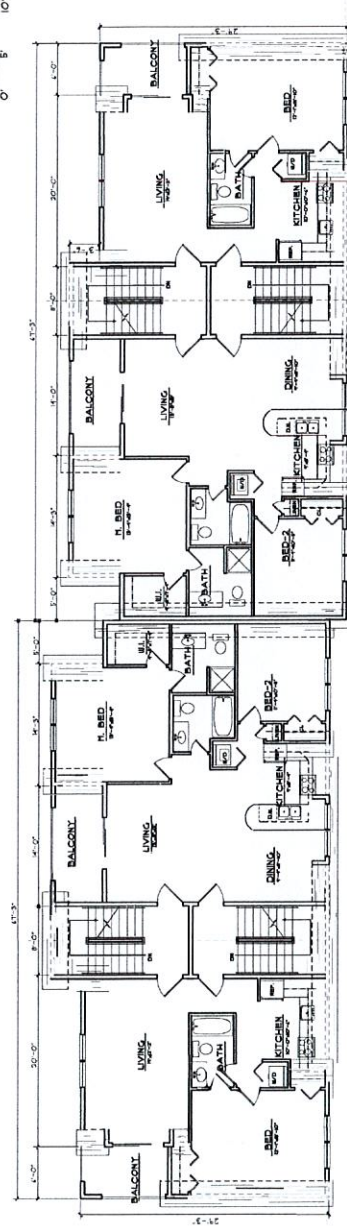
SIDE ELEVATION - BLDG #9



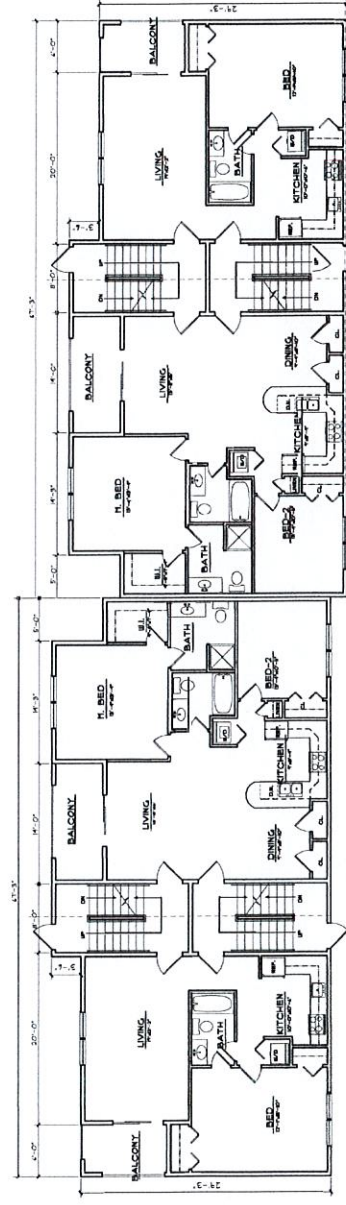
PROPOSED BUILDING with 1 & 2 Bedroom Units



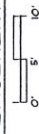
FRONT ELEVATION - BLDG TYPE #9



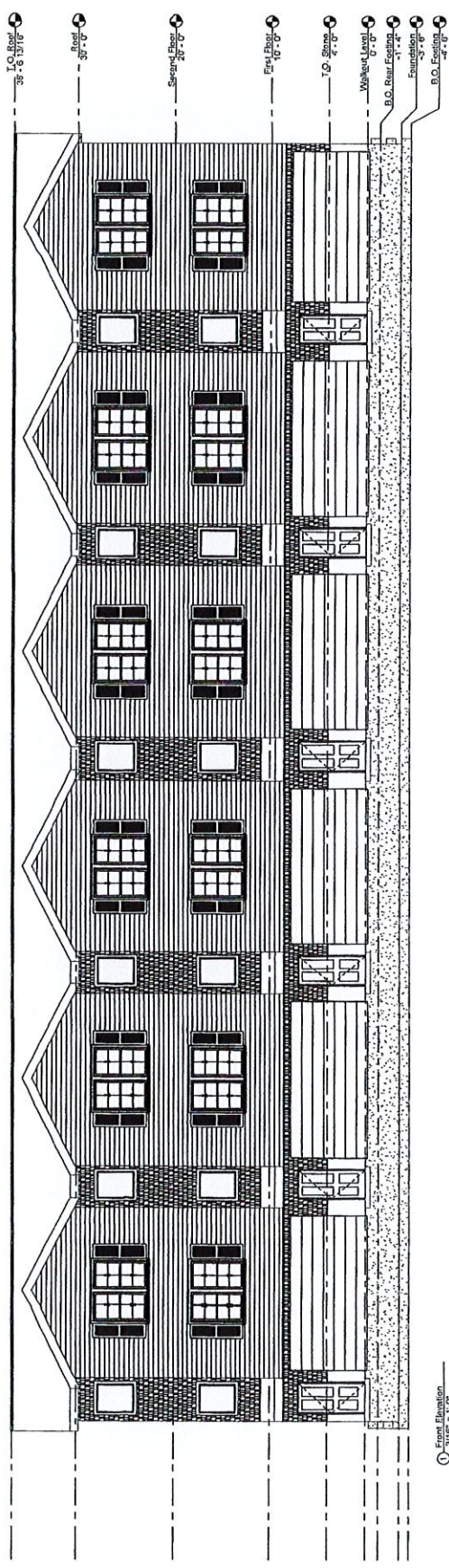
SECOND LEVEL



BASEMENT & FIRST LEVEL

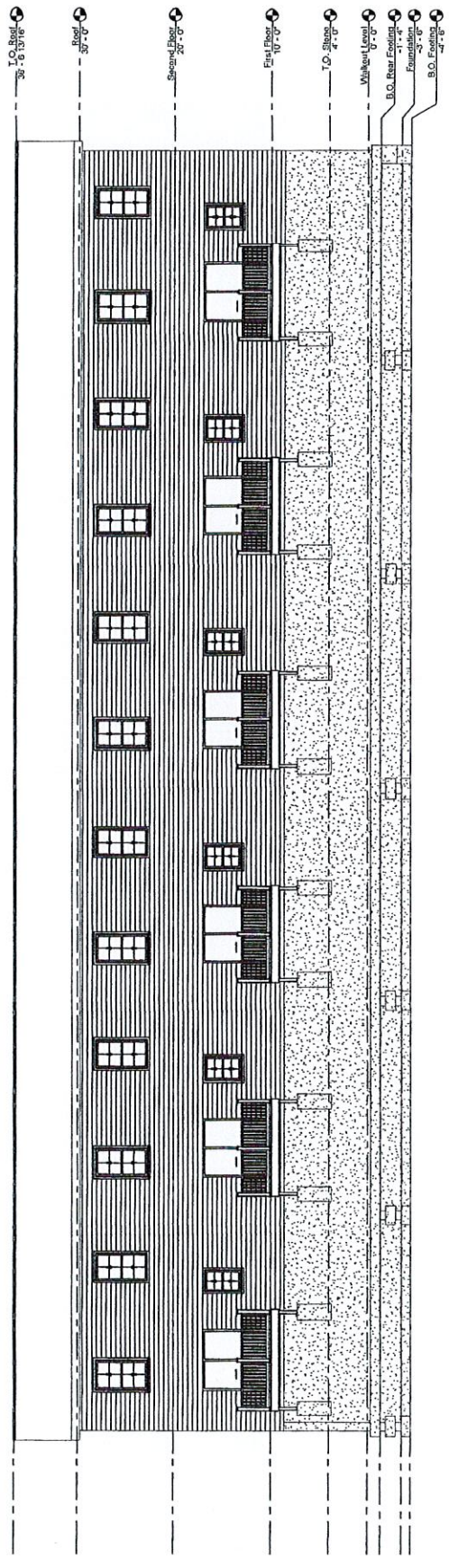


4 - (2) BEDROOM UNITS
 4 - (1) BEDROOM UNITS



① Front Elevation
3/16" = 1'-0"

CURRENTLY PERMITTED Units # 1-6 and Units #18-23



② Rear Elevation
3/16" = 1'-0"

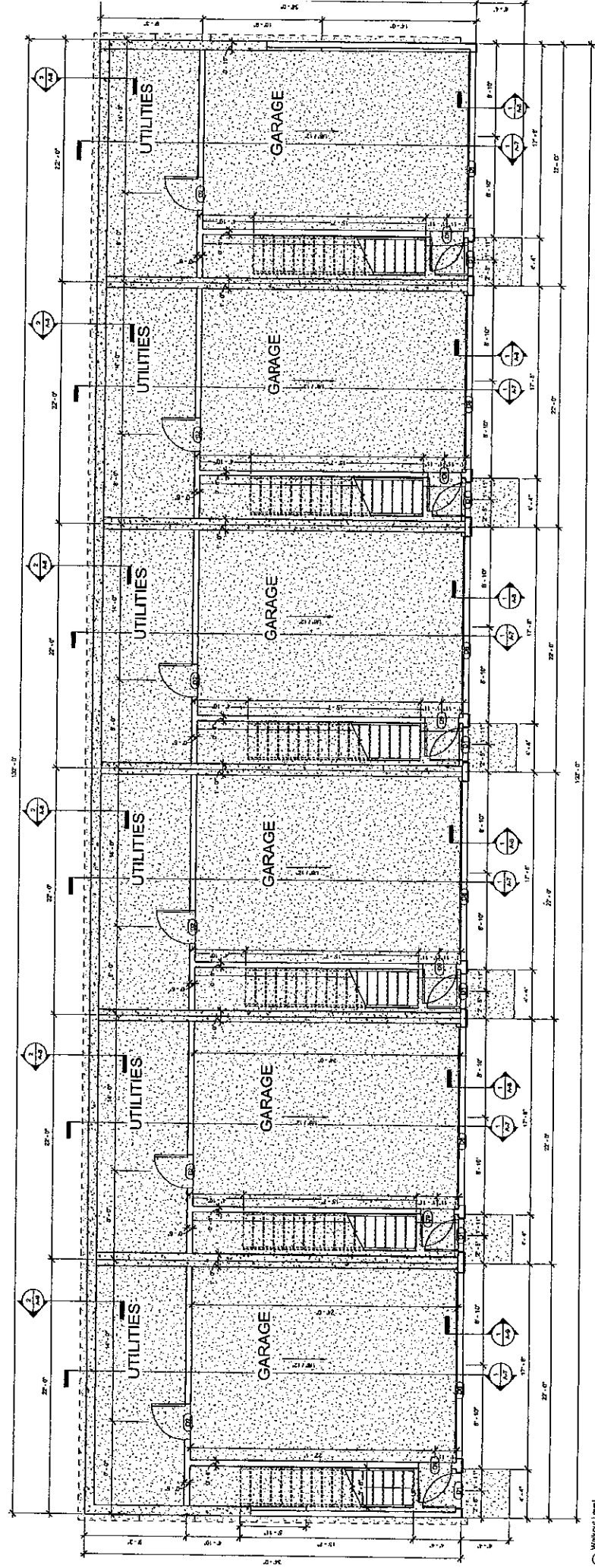
Elevations	A-5	
Date	March, 16 2022	
Drawn by	R/G	
Checked by	R/G	

SCALE:
3/16" = 1'-0"

Townhouse Development Plan
Prepared For
Premiere Properties LLC

PREMIERE INDUSTRIES, LLC
288 Reynolds Rd
Watertown, CT 06795
Rig@premierelocks.com
Tel: (860) 444-4519

243 Echo Lake Rd
Watertown, CT 06795



Without Level
1/4" = 1'-0"

LEGEND:

- COMBINATION EXHAUST FANLIGHT
- ACQRE SMOKE DETECTOR
- COMBINATION ACQRE SMOKE DETECTOR CARBON MONOXIDE DETECTOR
- SECTION TAG
- WINDOW TAG
- DOOR TAG

Walkout Level Plan

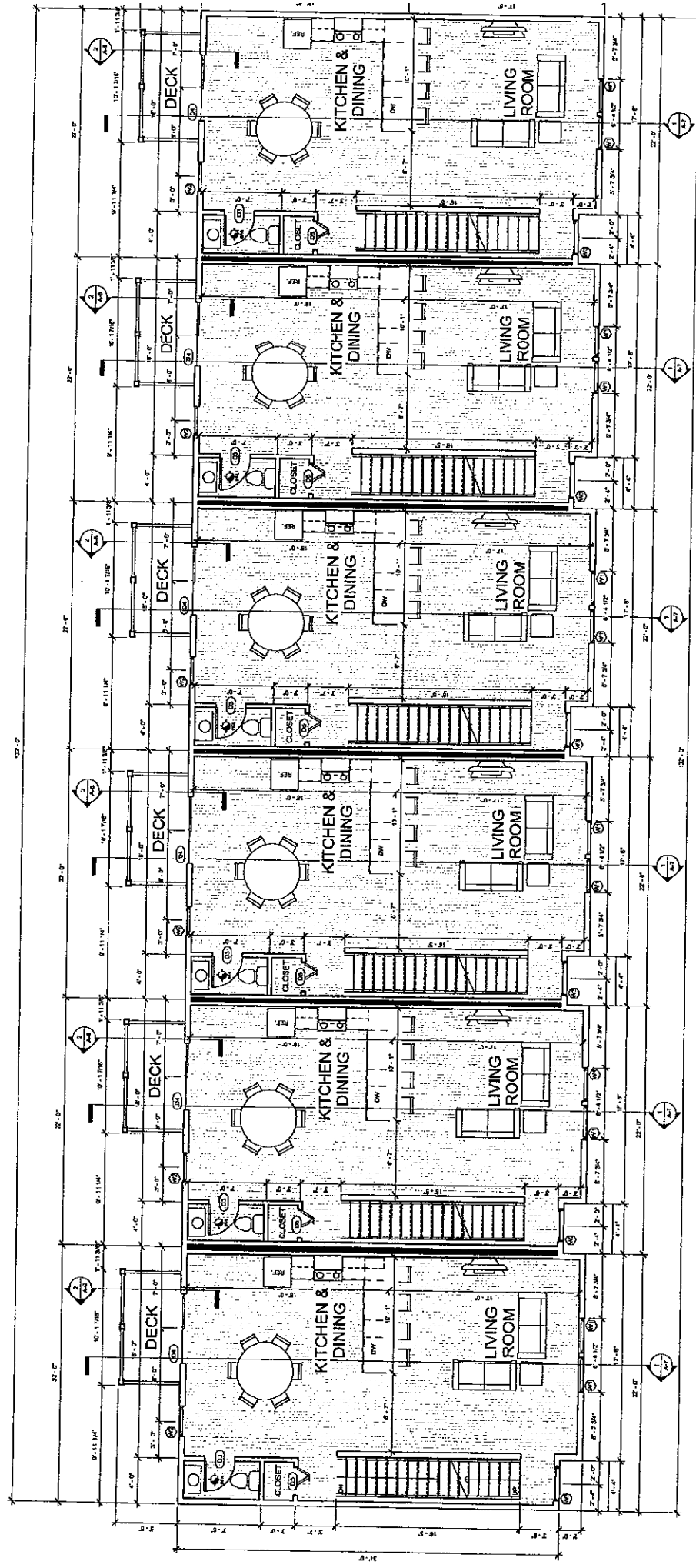
Date	March 10, 2022
Drawn by	RJG
Checked by	RRG

Townhouse Development Plan
Prepared For
Premiere Properties LLC








206 Reynolds Ridge Rd
Thomaston, CT 06787
Tel: (860) 484-4519
RJP@premierindustries.com

243 Echo Lake Rd
Watertown, CT 06795



1/4" = 1'-0"

LEGEND:

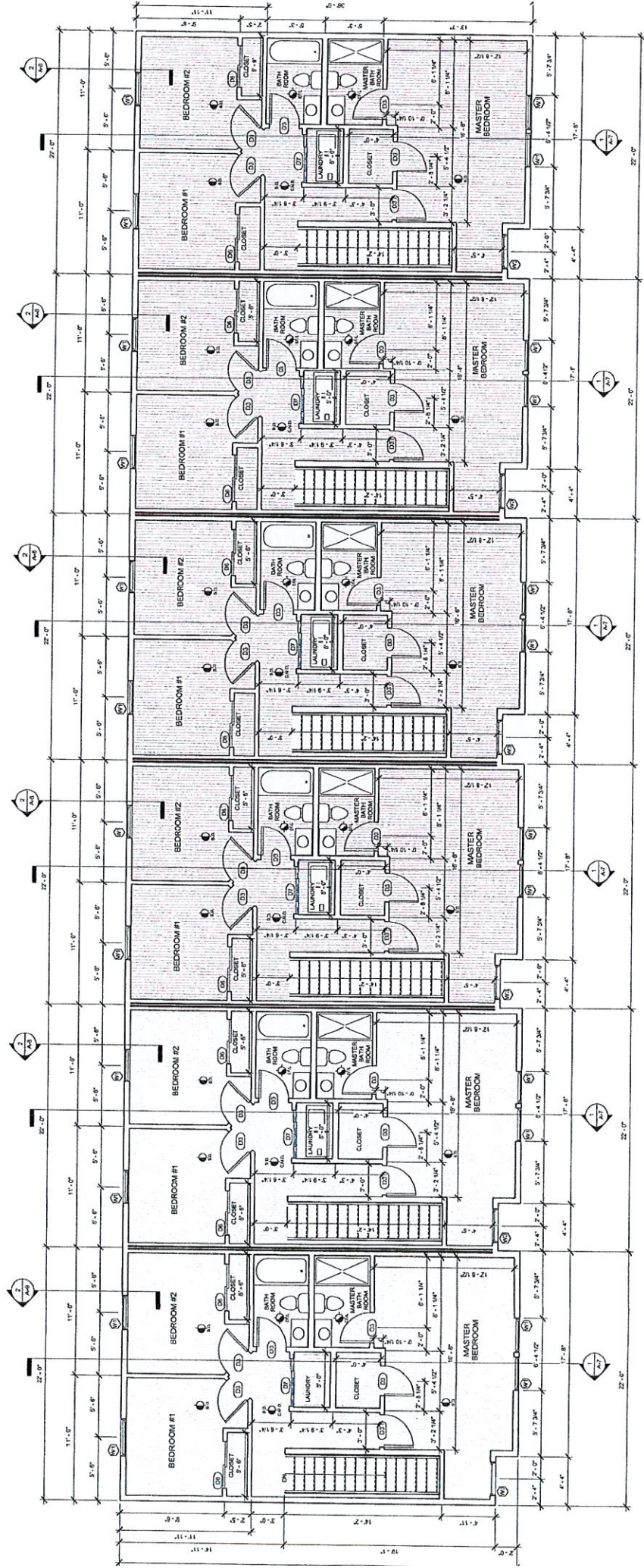
-  COMBINATION EXHAUST FANLIGHT
-  COMBINATION ACDC SMOKE DETECTOR
-  SECTION TAG
-  WINDOW TAG
-  DOOR TAG

First Floor Plan		A-3	
Date	March, 18 2022	Drawn by	RJE
Checked by		Scale:	1/4" = 1'-0"

Townhouse Development Plan
Prepared For
Premiere Properties LLC

PREMIERE INDUSTRIES, Inc.
290 Reynolds Ridge Rd.
Watertown, CT 06797
Tel: (860) 484-4819
info@premieretownhouses.com

243 Echo Lake Rd
Watertown, CT 06795



1 Second Floor
1/4" = 1'-0"

LEGEND:

- ☼ COMBINATION AC/DC SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- ☼ COMBINATION AC/DC SMOKE DETECTOR
- ☼ EQUALS/FANLIGHT
- ☼ WINDOW TAG
- ☼ SECTION TAG
- ☼ DOOR TAG

Second Floor Plan

Date	March, 15 2022	A-4
Drawn by	FLG	SCALE: 1/4" = 1'-0"
Checked by	RRG	

Townhouse Development Plan
Prepared For
Premiere Properties LLC

PREMIERE INDUSTRIES LLC
256 Reynolds Bridge Rd
Thomaston, CT 06787
Tel (860) 484-4519
R@premierindustrials.com

243 Echo Lake Rd
Watertown, CT 06795

- MAP NOTES:**
1. THIS MAP AND SURVEY HAVE BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, HAVING AN EFFECTIVE DATE OF OCTOBER 26, 2018.
 2. BOUNDARY DETERMINATION, DEPENDENT RESURVEY, THIS SURVEY IS SUBJECT TO SUCH FACTS AS AN INDEPENDENT RESURVEY, MAY DISCLOSE BOUNDARY LINES ARE PER REFERENCES OF NOTE #0 (N) HEREON.
 3. THE HORIZONTAL BASELINE CONFORMS TO A CLASS V-2 ACCURACY.
 4. THE NORTH ARROW AND BEARINGS ARE BASED UPON MAP REFERENCE A.
 5. UNDERGROUND UTILITIES, STRUCTURES AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE COMPANIES OR GOVERNMENTAL AGENCIES AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE EXISTENCE WHICH IS UNKNOWN TO JOHN J STOKKUS & ASSOCIATES, LLC. ALL CONTRACTORS ARE REQUIRED TO CONTACT CALL-BEFORE-YOU-DIG AT 1-800-922-4455 FOR LOCATION AND OR STAKEOUT OF ANY UTILITY PRIOR TO ANY EXCAVATION.
 6. MAP REFERENCES:
 A. MAP ENTITLED, "SITE DEVELOPMENT PLAN, TOWN VIEW", AN AFFORDABLE HOUSING DEVELOPMENT, ECHO LAKE ROAD, WATER TOWN, CONNECTICUT, PREPARED FOR JAMES RIZK, JR., DATED 4/26/07 WITH LATEST REVISION ON 9/4/07, SCALE 1" = 20', PREPARED BY LAND DATA ENGINEERS, *.

LOT COVERAGE CALCULATION:

12 TOWNHOUSE UNITS x 700 S.F. = 8,400 S.F.
2 PROPOSED BUILDINGS x 4,165 S.F. = 8,330 S.F.
140,197 S.F. / 16,730 S.F. = 8.4%

PARKING REQUIREMENTS:

GARAGE SPACES (2 PER UNIT) x 12 = 24
OPEN SPACES = 61
HANDICAP SPACES = 5
TOTAL = 90 SPACES
2.5/UNIT = 2.5
MINIMUM REQUIRED BY TOWN OF WATER TOWN ZONING REGULATIONS

